

Dear Councillor

PLANNING COMMITTEE - THURSDAY, 9TH DECEMBER, 2021

Please find attached copies of the addendae and plans for the above meeting.

Agenda No	Item
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- | | |
|----|--|
| 3. | <u>DETERMINATION OF PLANNING APPLICATIONS</u> (Pages 3 - 178) |
|----|--|

Yours sincerely

Wendy Walters

Chief Executive

Encs

Wendy Walters

Prif Weithredwr, Neuadd y Sir,
Caerfyrddin, Sir Gaerfyrddin SA31 1JP

Chief Executive, County Hall,
Carmarthen, Carmarthenshire SA31 1JP



BUDDSODDWYR | INVESTORS
MEWN POBL | IN PEOPLE

Mae croeso i chi gysylltu â mi yn y Gymraeg neu'r Saesneg

You are welcome to contact me in Welsh or English

**Cyngor Sir Caerfyrddin
Carmarthenshire County Council**

**ATODIAD
ADDENDUM**

**Adroddiad Pennaeth Cynllunio
Adran yr Amgylchedd**

**Report of the Head of Planning
Environment Department**

09/12/2021

**I'W BENDERFYNU
FOR DECISION**

<i>Application Number</i>	PL/02848
<i>Proposal & Location</i>	PROPOSED FULL PLANNING APPLICATION FOR DEVELOPMENT OF RESIDENTIAL HOMES, HIGHWAYS ACCESS, PARKING, LANDSCAPING AND ASSOCIATED INFRASTRUCTURE WORKS AT LAND SOUTH OF ERW'R BRENHINOEDD, LLANDYBIE, AMMANFORD, SA18 2TQ

Ecology – Are currently assessing further information submitted by the Agent from Bay Ecology on 24th November 2021, addressing the concerns raised by Planning Ecology in their Holding Objection response. No further response has been received to date.

As noted in the report, the application site has an extant permission for 22 dwellings under reference E/15577 which could be recommenced and without any further ecology studies and would involve clearance of the whole site with no further ecological considerations, other than those applied in the previous permission. Based in this fall back position, it is considered that the current proposed ecological scheme is an improvement on the previous scheme and will offer ecological gains over those offered in the previous permission.

Network Rail – Based on the information submitted, Network Rail’s Level Crossing Manager needs to run a number of risk options that show a predicted level of use not only with the addition of the new dwellings and the potential home owners using the crossing but the opening up of the area to access amenities such as transport links, stores and supermarkets, all of which would require a user to traverse the crossing either on foot or in a vehicle, increasing the levels of use and the risk score. Whilst further assessments are made by our safety team, they offer holding objection until such time these investigations are completed.

It is advised that as above, the application site has an extant permission for 22 dwellings which could be re-commenced, the extra vehicular and pedestrian traffic from this development should already be factored into the level crossing’s risk analysis based on the 2011 permission AND the allocation in the Local Development Plan. The additional 2 dwellings would not be considered to be a significant increase in traffic over the level crossing and as such, this holding objection cannot be sustained. This is especially pertinent when it is considered this holding objection was received six and a half weeks after the application was submitted and three weeks after the end of the statutory consultation period.

Parks and Open Space Manager – The final sum to be requested for the maintenance of Parks and Open Space is to be £32,000. This sum has been agreed between the Local Planning Authority and the Agents for the application based on the lack of response from the Parks and Open Space Manager to the Statutory Pre Application submitted by the Agents for this application and the formal Pre-Application Consultation (PAC) process required to be carried out by the Agent as this application is a ‘Major Application’. The Parks and Open Space Manager responded to the consultation for this planning application at the last opportunity to do so, and as such, the Agent argues, the sum requested of £59,112 was much higher than was expected and would not be viable. They advise that the site viability was calculated based on the previous Parks and Open Space requirement for this site in the E/15577 permission of £32,000. On this basis, the points raised by the Agent is

considered to be reasonable and highlights the requirement for consultees to respond to consultation responses in a timely manner. The contribution of £32,000 is accepted.

Correction to the report –

The Agent has clarified that all the dwellings are now to be offered for Social Rent with no dwellings offered for Low Cost Home Ownership. An amended plan has been provided to show the new housing mix. As such, all references to Low Cost Home Ownership in the report should now be ignored as all homes are to be for Social Rent.

The correct mix of house types are:-

- 4no 1 bed units 2 person @ 51 and 57 m² (plots 3,4,5 & 6);
- 2no 2 bed units 3 person @ 60 m² (plots 1 & 2);
- 12no 2 bed units 4 person @ 86 m² (plots 7-10, 17-24);
- 2no 4 bed units 7 person @ 124 m² (plots 11 & 12);
- 4no 3 bed units 5 person @ 96 m² (plots 13-16).

Condition 2 is to be amended to read the following:-

Condition 2

The development shall be carried out in accordance with the following approved plans and documents:-

- Site Block and Site Location Plan [10] scale 1:750, 1:1250 @ A3 received 12 October 2021;
- Proposed Site Layout Plan [01 - REV M] scale 1:500 @ A3 received 6 December 2021;
- Proposed Site Sections Plan [09] scale 1:200, 1:750 @ A1 received 12 October 2021;
- Engineering Schematic Plan [150] scale 1:250 @ A1 received 12 October 2021;
- Soft Landscape Proposals [1125.01] scale 1:250 @ A1 received 12 October 2021;
- Proposed Floor and Elevations Plan – 2 Person 1 Bed HT [07] scale 1:50, 1:100 @ A1 received 12 October 2021;
- Proposed Floor and Elevations Plan – 3 Bed 5 Person HT [08] scale 1:50, 1:100 @ A2 received 12 October 2021;
- Proposed Floor and Elevations Plan – 7 Person 4 Bed HT [06] scale 1:50, 1:100 @ A1 received 12 October 2021;
- Proposed Floor and Elevations Plan – 4 Person 2 Bed HT [03] scale 1:50, 1:100 @ A2 received 12 October 2021;
- Proposed Ground Floor and Elevations Plan – 3 Person 2 Bed HT [05] scale 1:50 @ A1 received 12 October 2021;
- Coal Mining Risk Assessment – Terra Firma (Wales) Ltd October 2020 received 12 October 2021;
- Precautionary Sensitive Vegetation Strategy – Bay Ecology - October 2021 received 12 October 2021;
- Preliminary Ecological Report - Bay Ecology - August 2021 received 12 October 2021;
- Bay Ecology Additional Information in Response to Planning Ecology Holding Objection received 24 November 2021;

- Geo-Environmental Report – Terra Firma (Wales) Ltd. – January 2019 - received 12 October 2021;
- Environmental Noise Assessment Report – Acoustic Consultants Ltd – August 2021 received 12 October 2021;
- Arboricultural Report – ArbTS – August 2021 received 12 October 2021;
- Planning, Design and Access Statement - Asbri Planning – October 2021 received 12 October 2021;
- Pre-Application Consultation Report – Asbri Planning – October 2021 received 12 October 2021.

Reason: For the avoidance of doubt as to the extent of this permission.

<i>Application Number</i>	PL/02849
<i>Proposal & Location</i>	APPROVAL OF ALL RESERVED MATTERS IN RESPECT TO THE DEVELOPMENT OF NEW LIGHT INDUSTRIAL AND OFFICE BUILDINGS ON PLOT 3 INCLUDING ASSOCIATED ANCILLARY BUILDINGS/STRUCTURES, LANDSCAPING AND SUPPORTING INFRASTRUCTURE. CROSS HANDS EAST STRATEGIC EMPLOYMENT SITE, PLOT 3, CROSS HANDS

Due to an amendment to the access geometry onto Greengrove Lane, consequential changes have been made to the plans which need to be reflected in Condition 2 which now reads as follows:-

Condition 2

The development hereby permitted shall be carried out strictly in accordance with the following plans dated 12 October 2021:-

- 1:200 scale Hybrid Elevations. Drawing No. 0220 Rev PL_PL03;
- 1:200 scale Hybrid Ground Floor Plan. Drawing No. 0120 Rev PL_PL03;
- 1:200 scale Hybrid - Roof Plan. Drawing No. 0121 Rev PL_PL03;
- 1:200 scale Office and Hybrid Building – Elevations. Drawing No. 0210 Rev PL_PL03;
- 1:200 scale Ground and First Floor Plans. Drawing No. 0110 Rev PL_PL04;
- 1:200 scale Roof Plan. Drawing No. 0111 Rev PL_PL03;
- 1:200 scale Industrial Elevations. Drawing No. 0230 Rev PL_PL03;
- 1:200 scale Industrial Ground Floor Plan. Drawing No. 0130 Rev PL_P03;
- 1:200 scale Roof Level Plan. Drawing No. 0131 Rev PL_PL03;
- 1:500 scale Site Sections Plan. Drawing No. 0003 Rev PL_PL05;
- 1:500 scale Site Elevations. Drawing No. 0240 Rev PL_05;
- 1:400 scale Proposed Drainage Layout. Drawing No. 92001 Rev P03 [Drainage Only];
- 1:2000, 1:100 & 1:20 scale Swale and Retaining Structure. Drawing No. 9408 Rev PL_PL05;
- 1:2000 & 1:20 scale Swale Location Plan & Landscape Detail. Drawing No. 9409 Rev PL_PL05;
- 1:200 scale Landscape Sections. Drawing No. 9301 Rev PL_PL05;
- 1:25 scale Typical Tree Pit Detail in Soft. Drawing No. 9405 Rev PL_PL05;
- 1:100 scale Boundary Treatment Detail Sections Plan. Drawing No. 9302 Rev PL_PL05;
- 1:10 scale Typical paving details. Drawing No. 9406 Rev PL_P05;
- 1:100 scale Boundary Treatment Detail Sections Plan. Drawing No. 9302 Rev PL_PL05;
- 1:20 scale Fence Detail Plan. Drawing No.9403 Rev PL_PL05;
- 1:500 scale External Lighting Strategy Site Layout. Drawing No. 31000 Rev P01;

the following plan dated 26 November 2021:-

- 1:250 & 1:500 scale Proposed Eastern HGV access. Drawing No. 05004 Rev P02;

and the following plans dated 8 December 2021:-

- 1:1250 scale Location Plan. Drawing No. 0001 Rev PL_PL07;
- 1:500 scale Site Furniture Plan. Drawing No. 9190 Rev PL_PL07;
- 1:500 scale Landscape General Arrangement. Drawing No 9001 Rev PL_PL07;
- 1:200 scale Soft Landscaping Plan. Sheet 1 of 2 Drawing No. 9140 Rev PL_PL07;
- 1:200 scale Soft Landscaping Plan. Sheet 2 of 2 Drawing No. 9141 Rev PL_PL07;
- 1:500 scale Hard Landscaping Plan. Drawing No. 9160 Rev PL_PL07;
- 1:500 scale Tree Protection, Removal & Retention Plan. Drawing No. 9101 Rev PL_PL07;
- 1:500 scale Boundary Treatment Plan. Drawing No. 9180 Rev PL_PL07;
- 1:20 & 1:50 scale Landscape Excavation and Filling Plan. Drawing No. 9120 Rev PL_PL07;
- Landscape Materials Board Planting dated 12 October 2021;
- Landscape Hard Surface & Street Furniture dated 12 October 2021.

Reason: In the interests of visual amenity in accordance with Policy GP1 of the LDP.

<i>Application Number</i>	PL/02533
<i>Proposal & Location</i>	REMOVAL OF CONDITION 11 ON E/27795 (ONE RESIDENTIAL DWELLING (LOCAL NEEDS)) AT GWENLLIW, DRYSLWYN, CARMARTHEN, SA32 8RF

Additional correspondence has been received from the applicant wherein he suggests that the main report presented to Committee contains a number of inaccuracies.

The first of these relates to the ownership of the car garage business referred to in the report. Whilst the planning statement submitted with the application makes reference to the applicant's car garage business and this is reflected in the main report, the applicant has indicated that this is in fact incorrect and that the business is instead wholly owned by his mother. Moreover, he indicates that he has been out of work since its closure.

The applicant also draws reference to previous attempts to obtain a valuation of the property from the Council's valuer to reflect the local needs restriction and suggests that it is the Council's responsibility to provide this valuation in accordance with the terms of the Section 106 agreement. However, the applicant is mistaken in this assertion in that there is no requirement for the Council to provide its own valuation of the property for the purposes of marketing the property. The agreement requires that he markets the property at an appropriate market value to reflect the local needs restriction. Notwithstanding this, members will note from the main report that in submitting the application, the applicant has acknowledged that the value at which the property has been marketed is higher than the 25-30% reduction in market value recommended in national planning policy advice contained in TAN6.

The recommendation for refusal remains unchanged.

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Y Pwyllgor Cynllunio / Planning Committee

09/12/2021

Y Gwasanaethau Cynllunio - Planning Services
Adran Yr Amgylchedd - Environment Department



**Ceisiadau yr argymhellir
eu bod yn cael eu
cymeradwyo**

**Applications
recommended for
approval**

E/388576

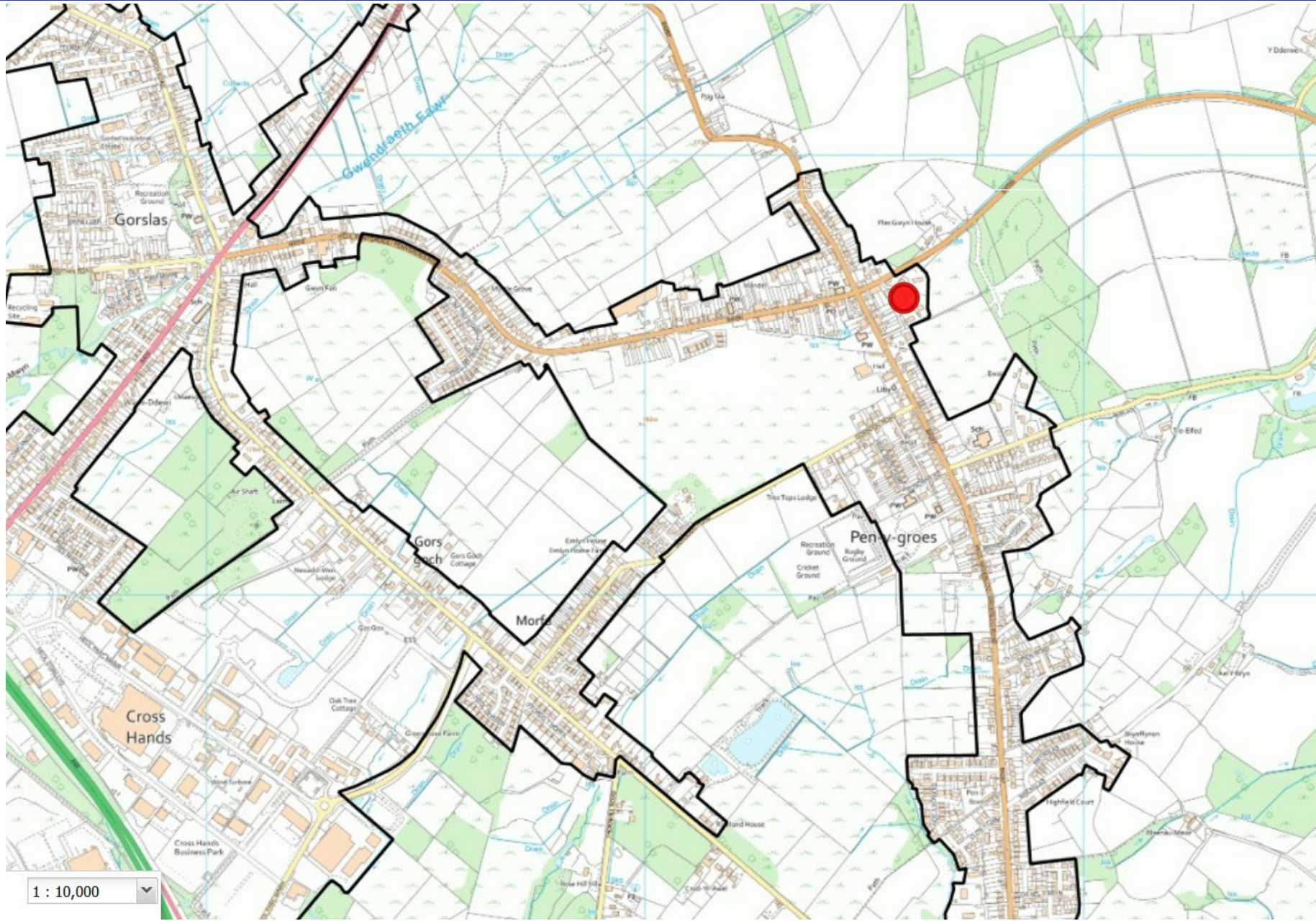
John Thomas

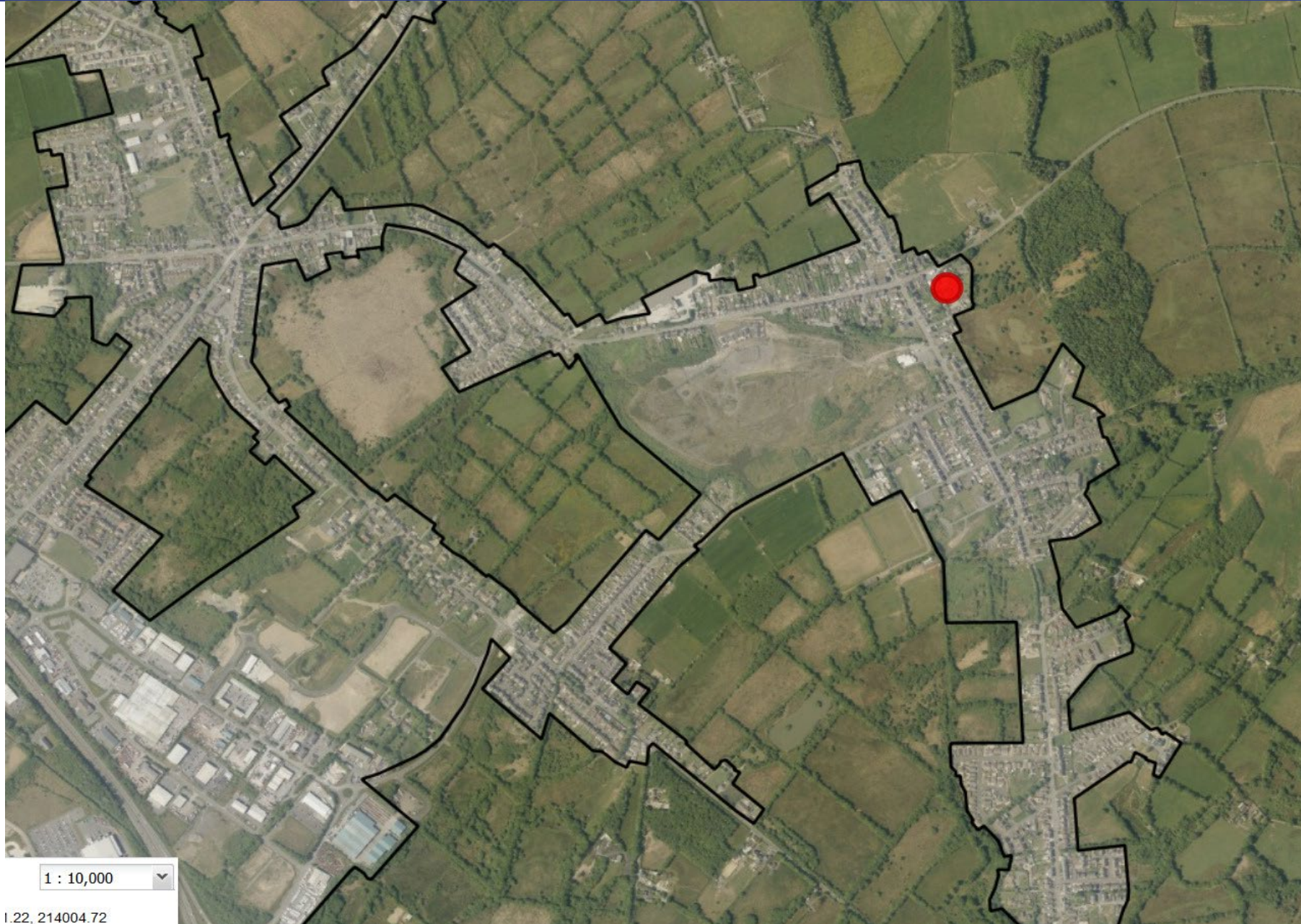
Y Gwasanaethau Cynllunio - Planning Services
Adran Yr Amgylchedd - Environment Department

Page 13

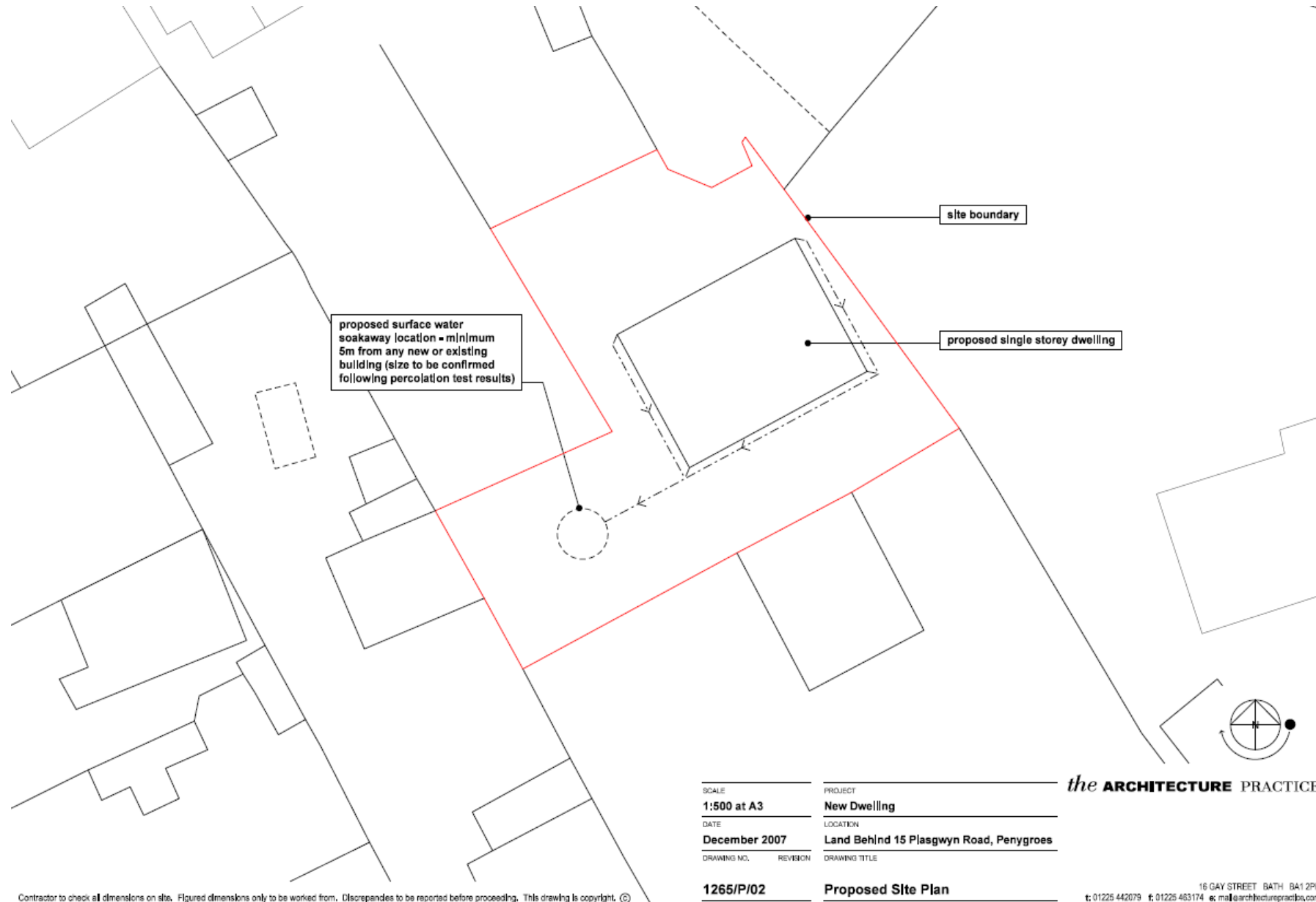
Cyngor **Sir Gâr**
Carmarthenshire
County Council











proposed surface water soakaway location - minimum 5m from any new or existing building (size to be confirmed following percolation test results)

site boundary

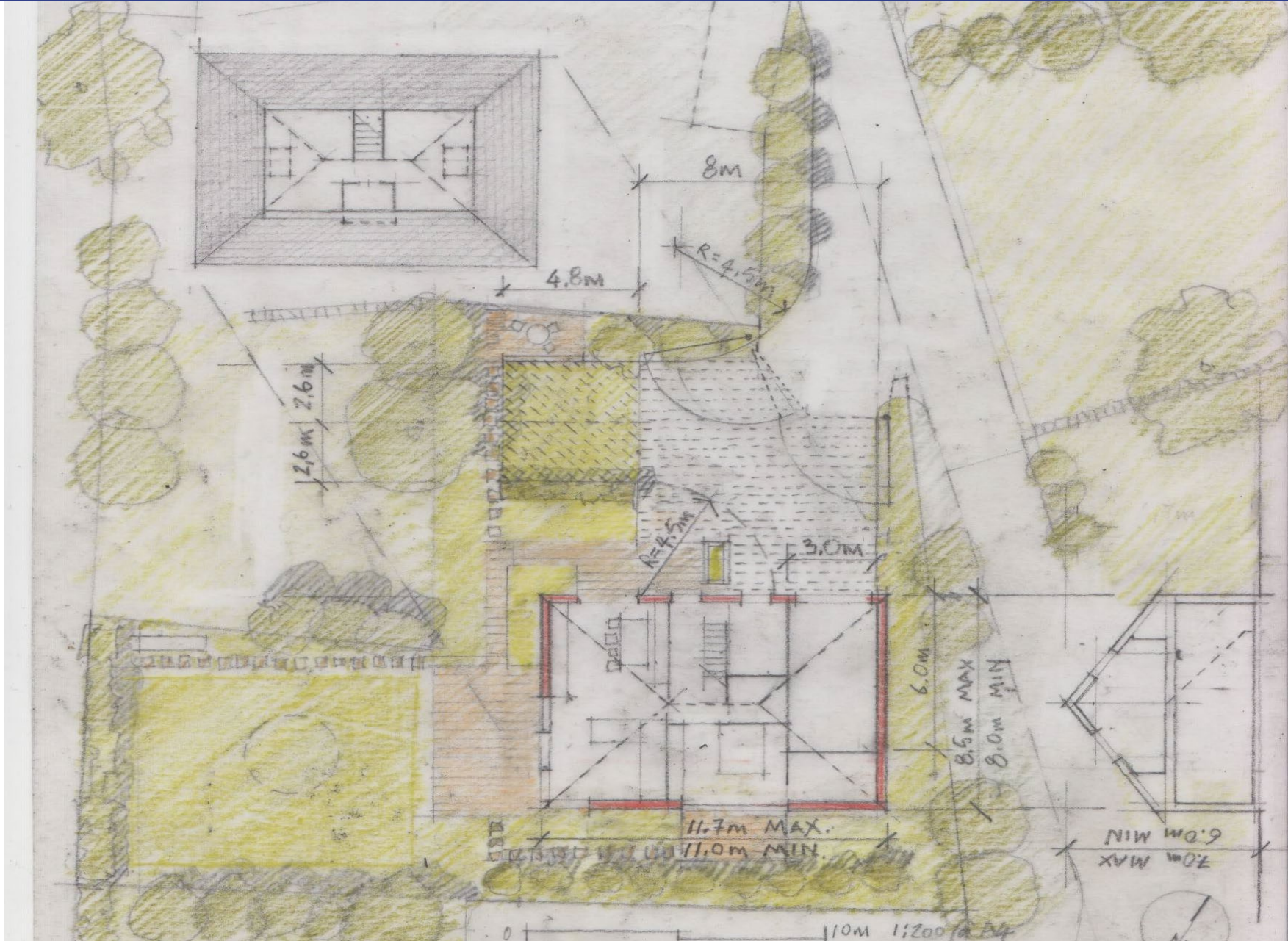
proposed single storey dwelling



the **ARCHITECTURE PRACTICE**

SCALE	PROJECT
1:500 at A3	New Dwelling
DATE	LOCATION
December 2007	Land Behind 15 Plasgwyn Road, Penygroes
DRAWING NO.	REVISION
1265/P/02	

Proposed Site Plan































PL/00799

Charlotte Greves

Y Gwasanaethau Cynllunio - Planning Services
Adran Yr Amgylchedd - Environment Department

Page 34

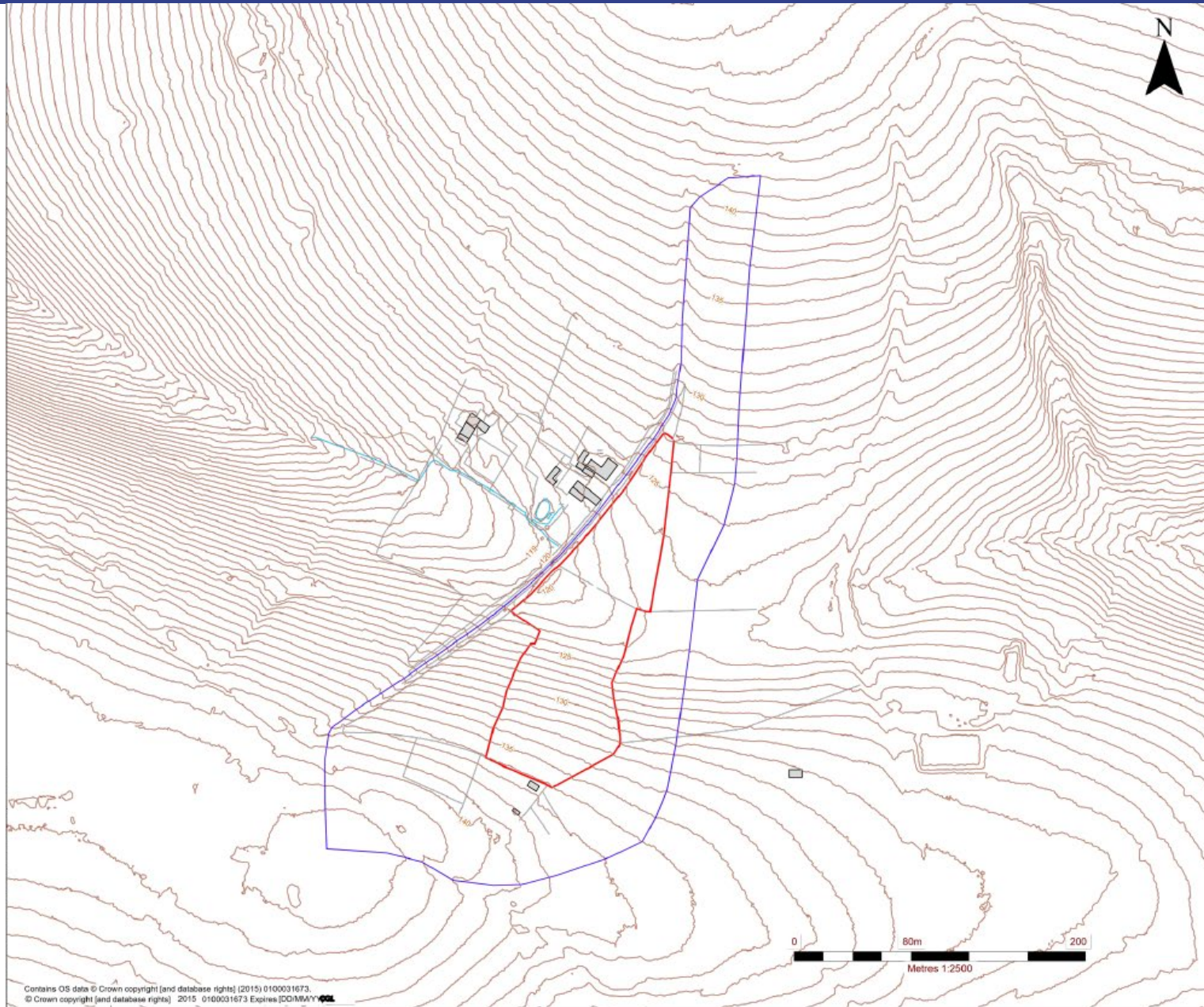
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Carmarthenshire
County Council



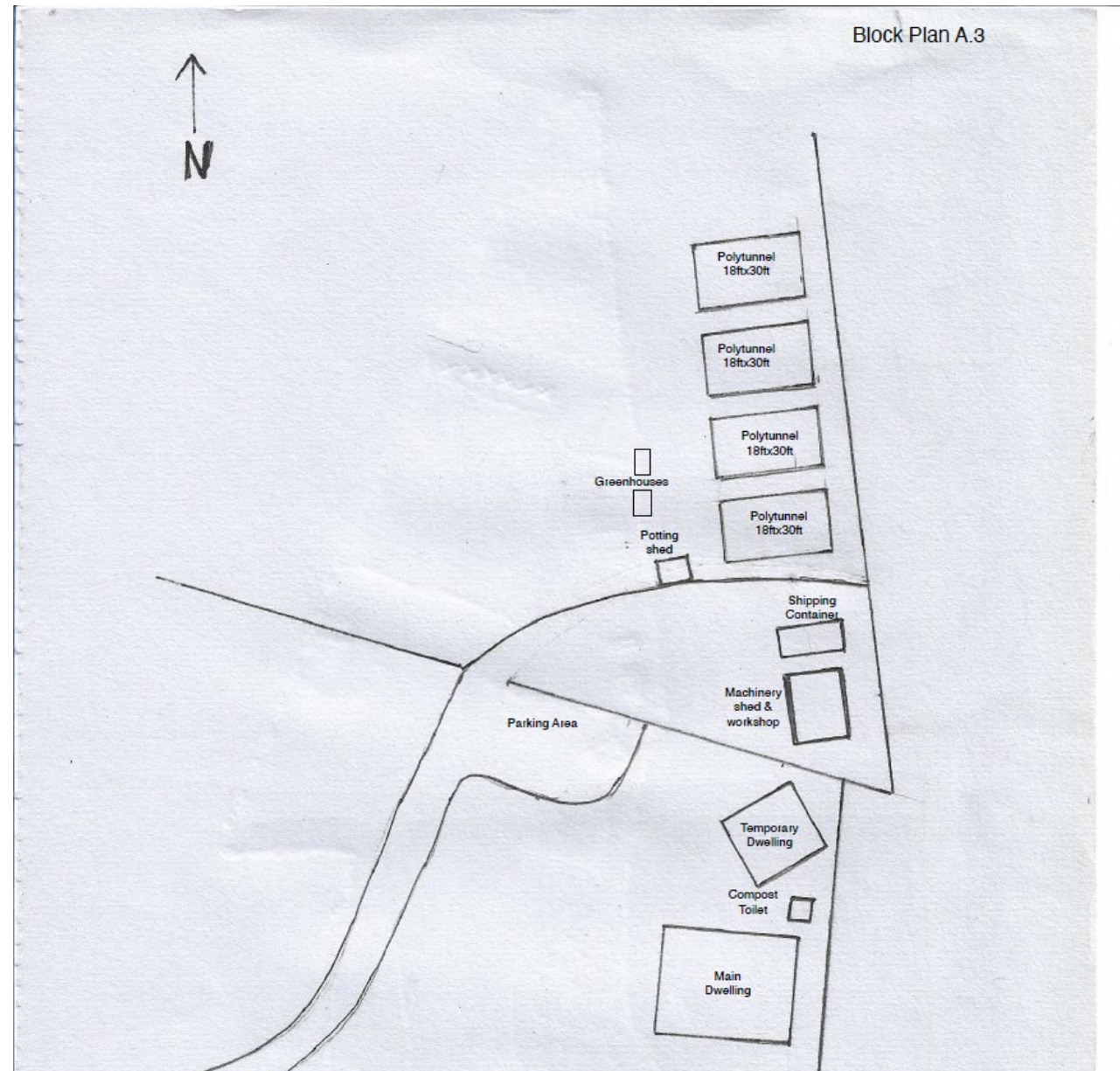
PL/00799 Aerial Photograph



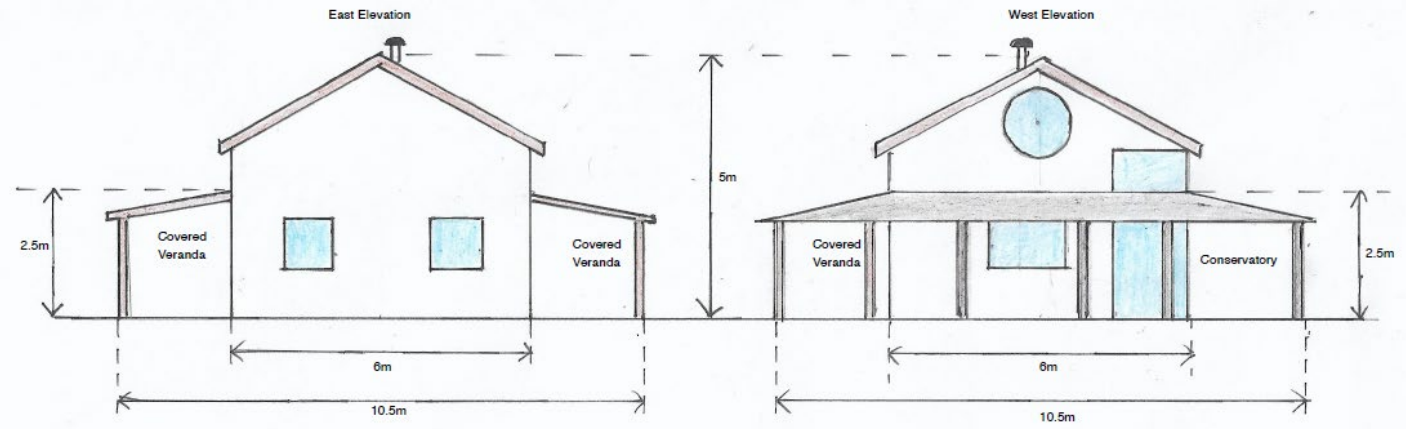
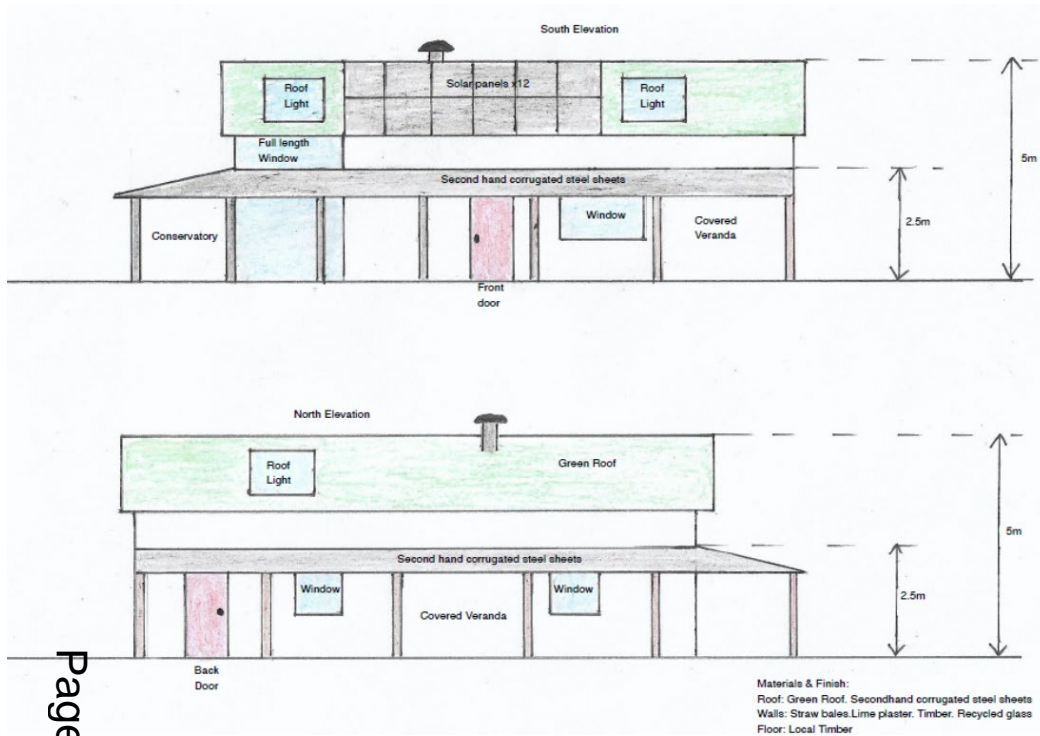
PL/00799 Topographical Plan of Site



PL/00799 Proposed Site Layout and Block Plan

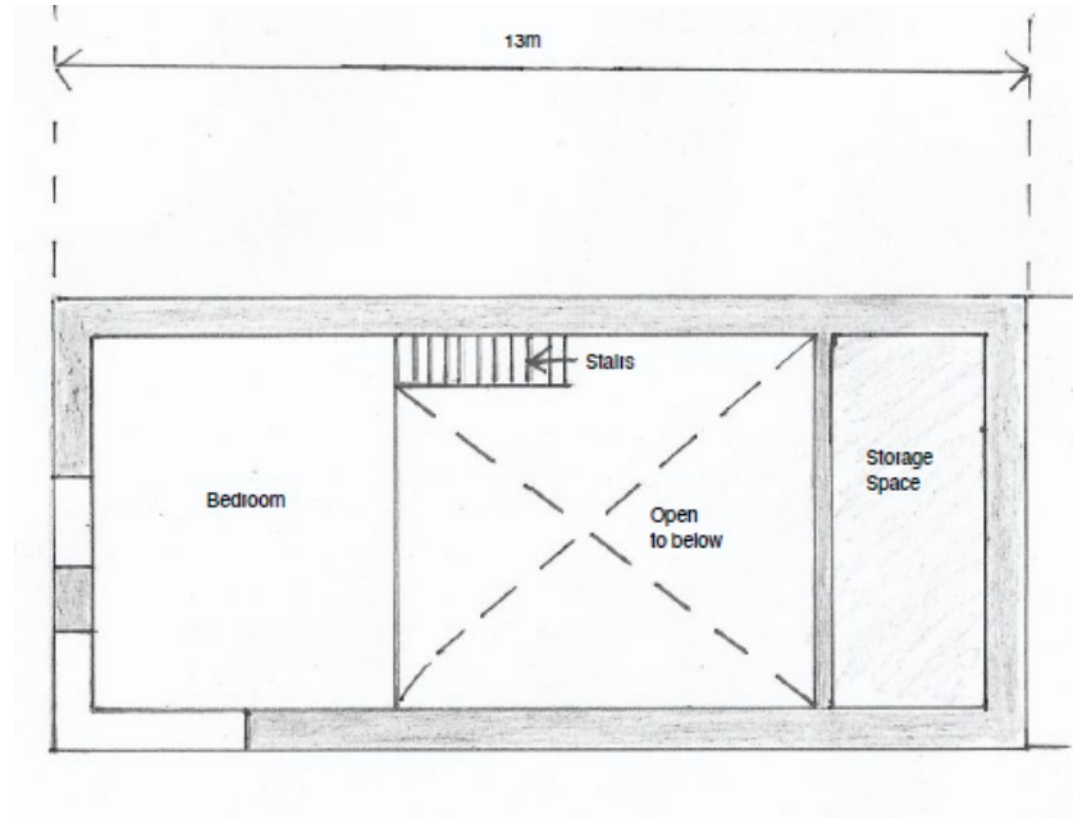
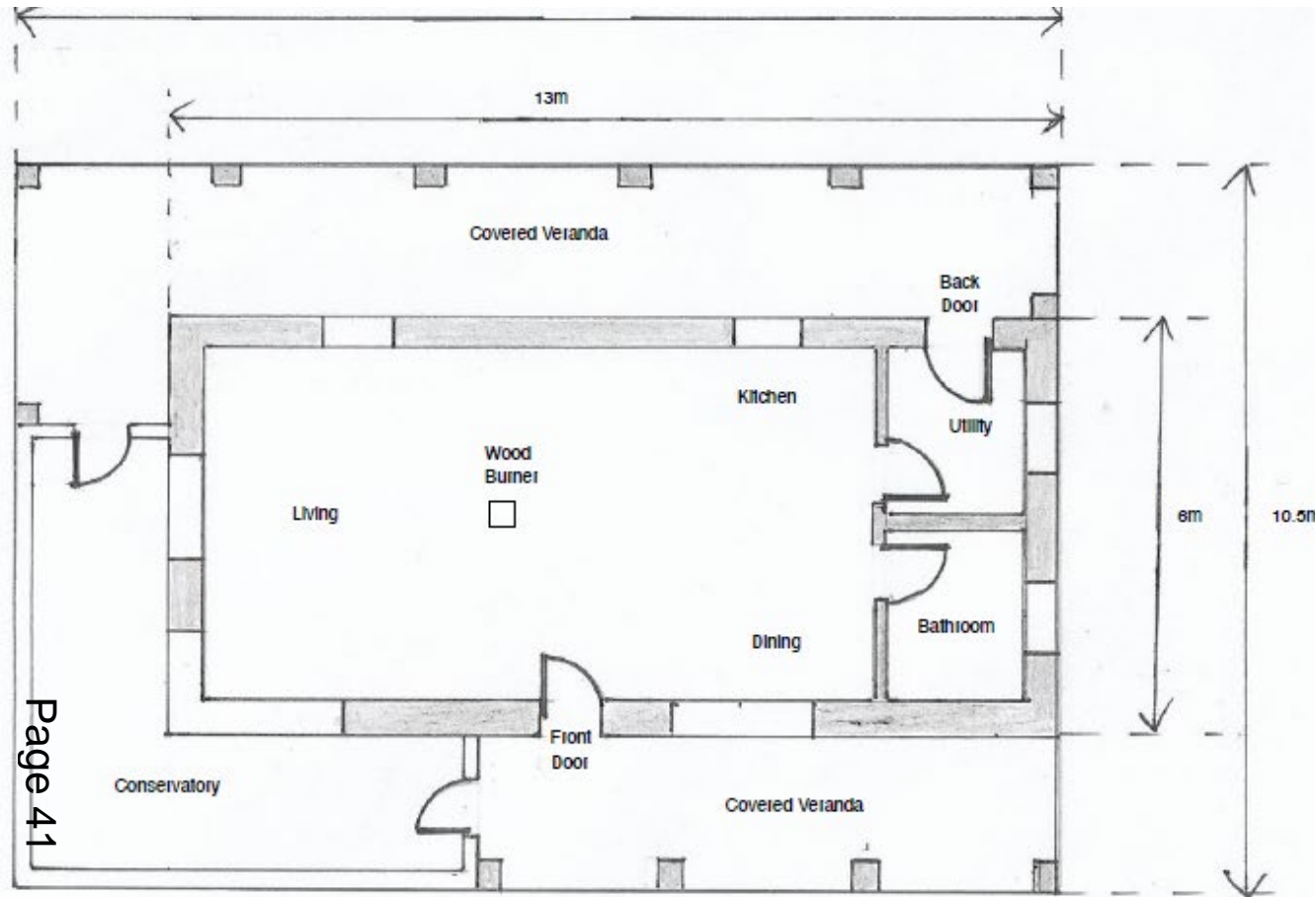


PL/00799 Permanent Dwelling Elevations

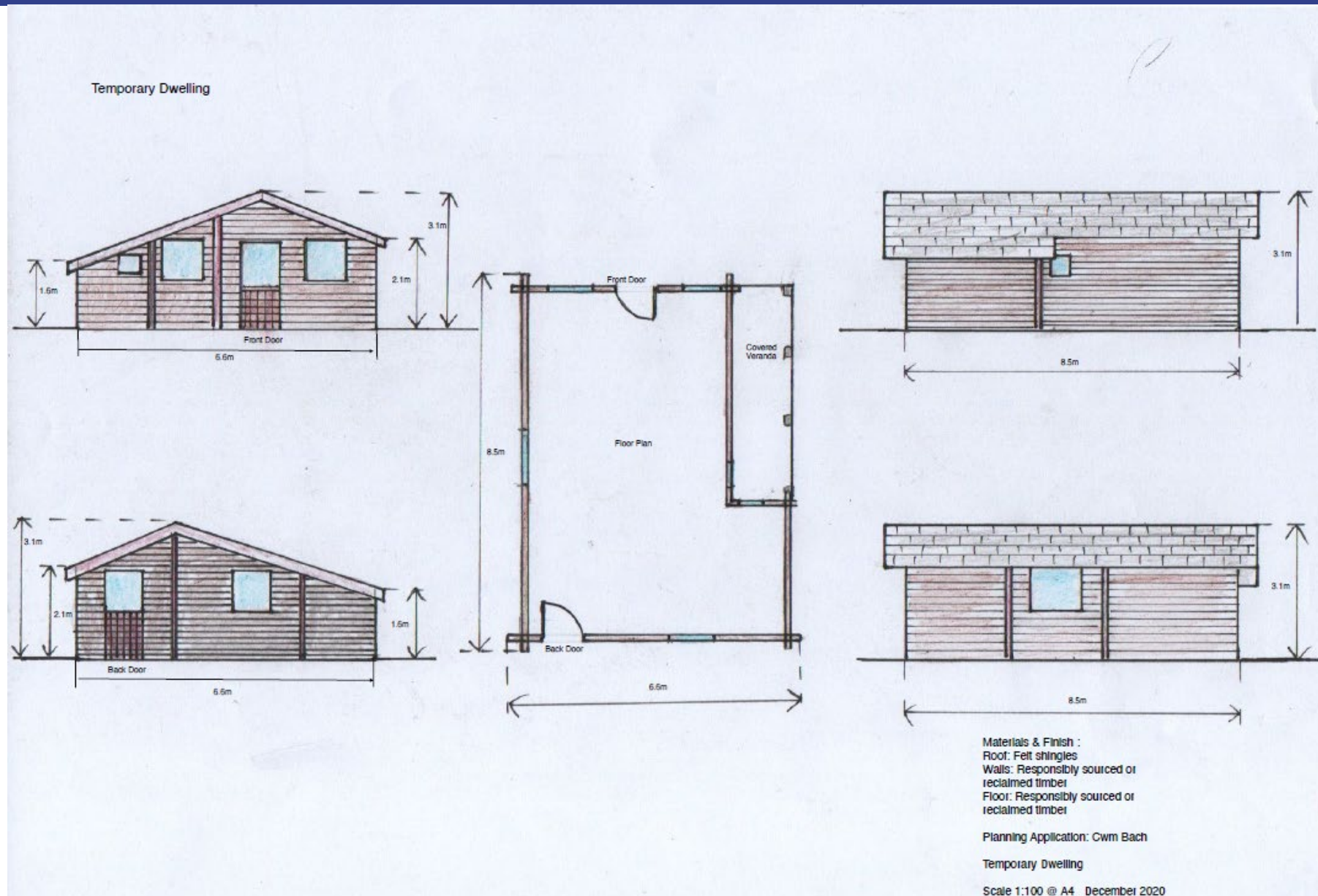


Materials & Finish:
Roof: Green Roof, Second hand corrugated steel sheets
Walls Straw bales, Lime plaster, Timber, Recycled glass
Floor: Local timber

PL/00799 Permanent Dwelling Floor Plans

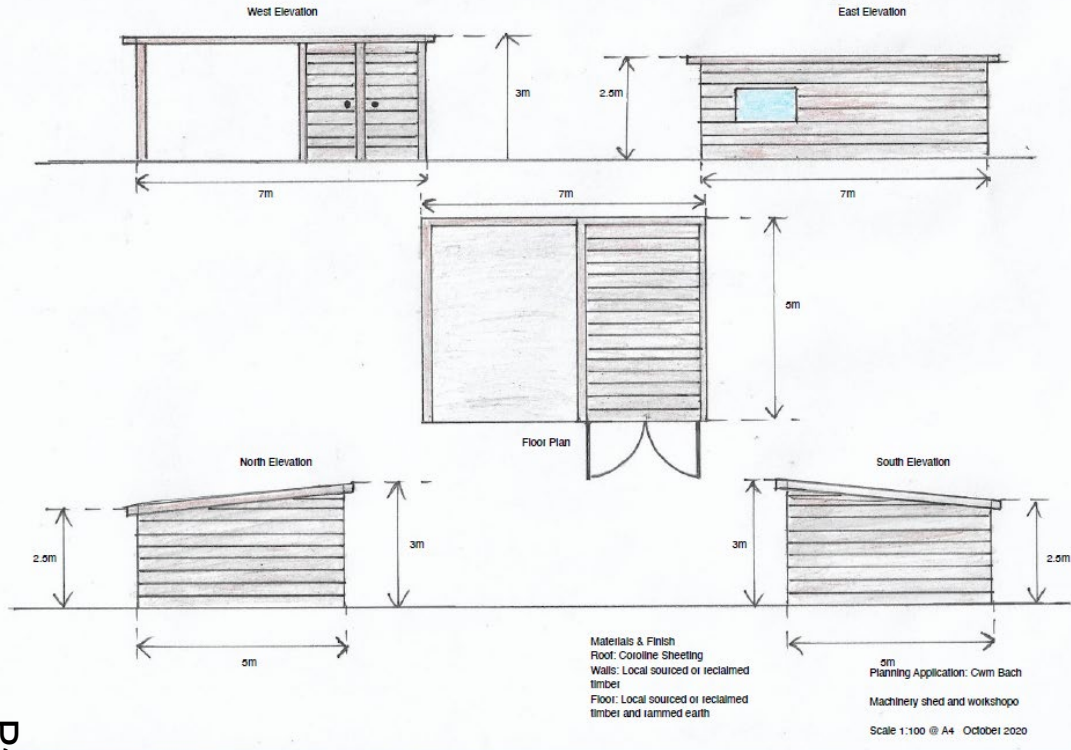


PL/00799 Temporary Dwelling Elevation and Floor Plans

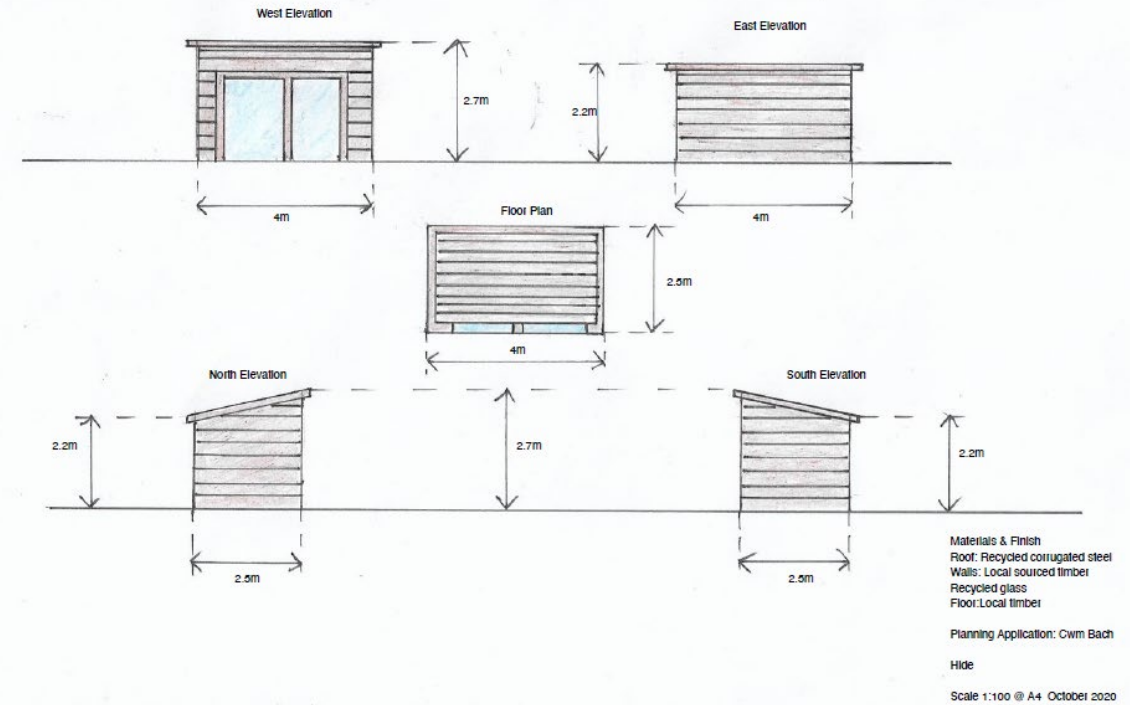


PL/00799 Machinery Shed and Workshop / Hide

Machinery shed & Workshop

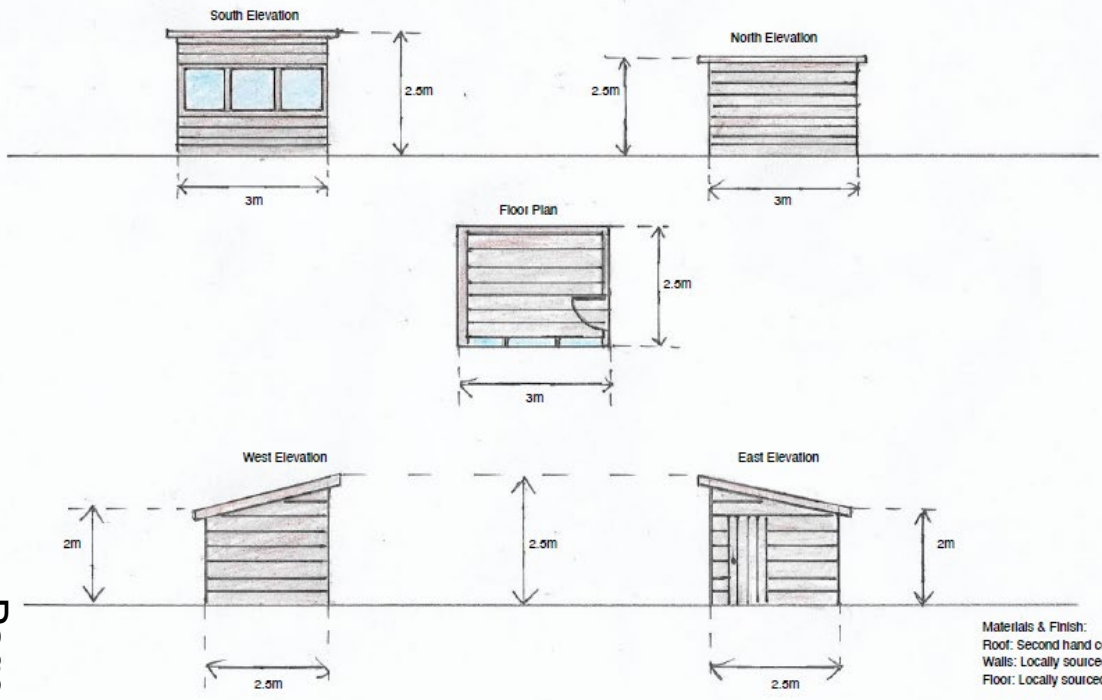


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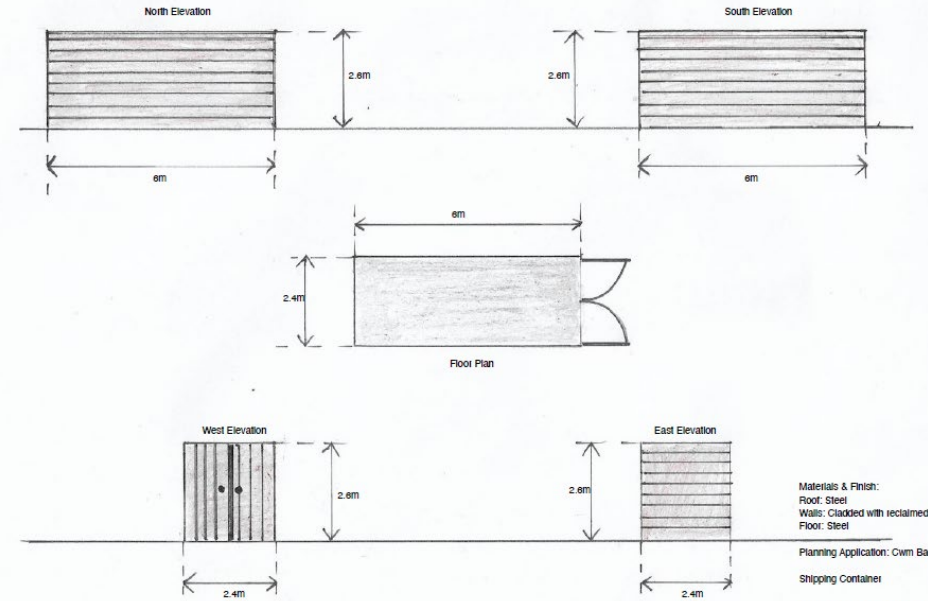
PL/00799 Potting Shed and Shipping Container

Potting Shed



Materials & Finish:
Roof: Second hand corrugated steel sheet
Walls: Locally sourced or reclaimed timber
Floor: Locally sourced or reclaimed timber
Planning Application: Cwm Bach

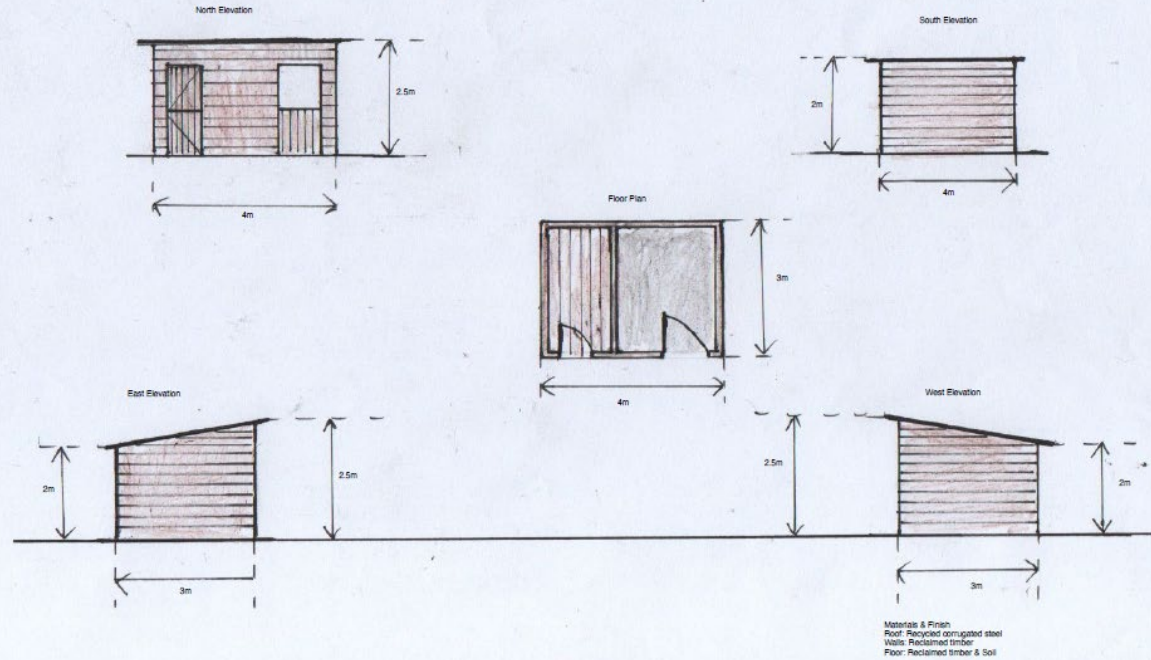
Shipping Container



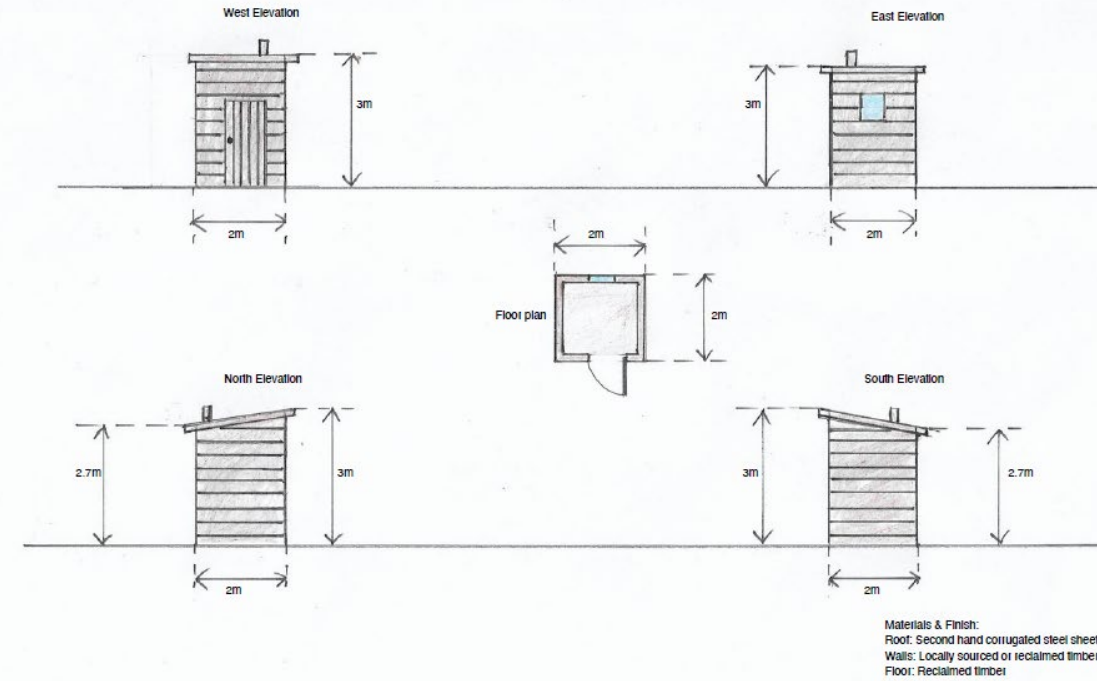
Materials & Finish:
Roof: Steel
Walls: Cladded with reclaimed timber
Floor: Steel
Planning Application: Cwm Bach
Shipping Container
Scale 1:100 @ A4 October 2020

PL/00799 Goat House and Compost Toilet

Goat House



Compost Toilet



PL/00799 LVIA Photograph Locations



PL/00799 Photo Position 1 – SW of Site along C3205



PL/00799 Photo Position 2 – Southern Access into Site from C3205



PL/00799 Photo Position 3 N of Site Looking South along C3205









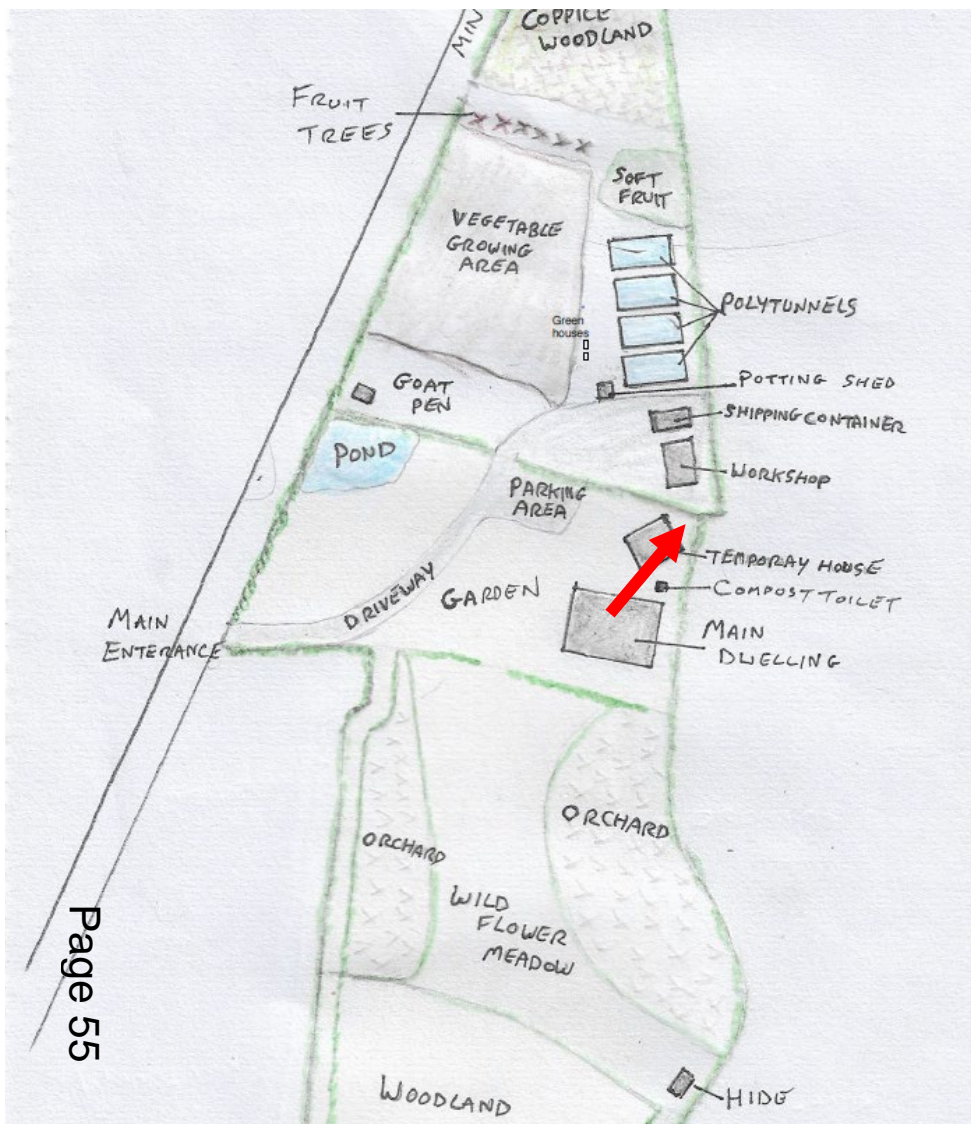
PL/00799 Photo Position 7 S of Site along C3214



PL/00799 Photo Position 8 SW of Site Where C3214 Meets C3205



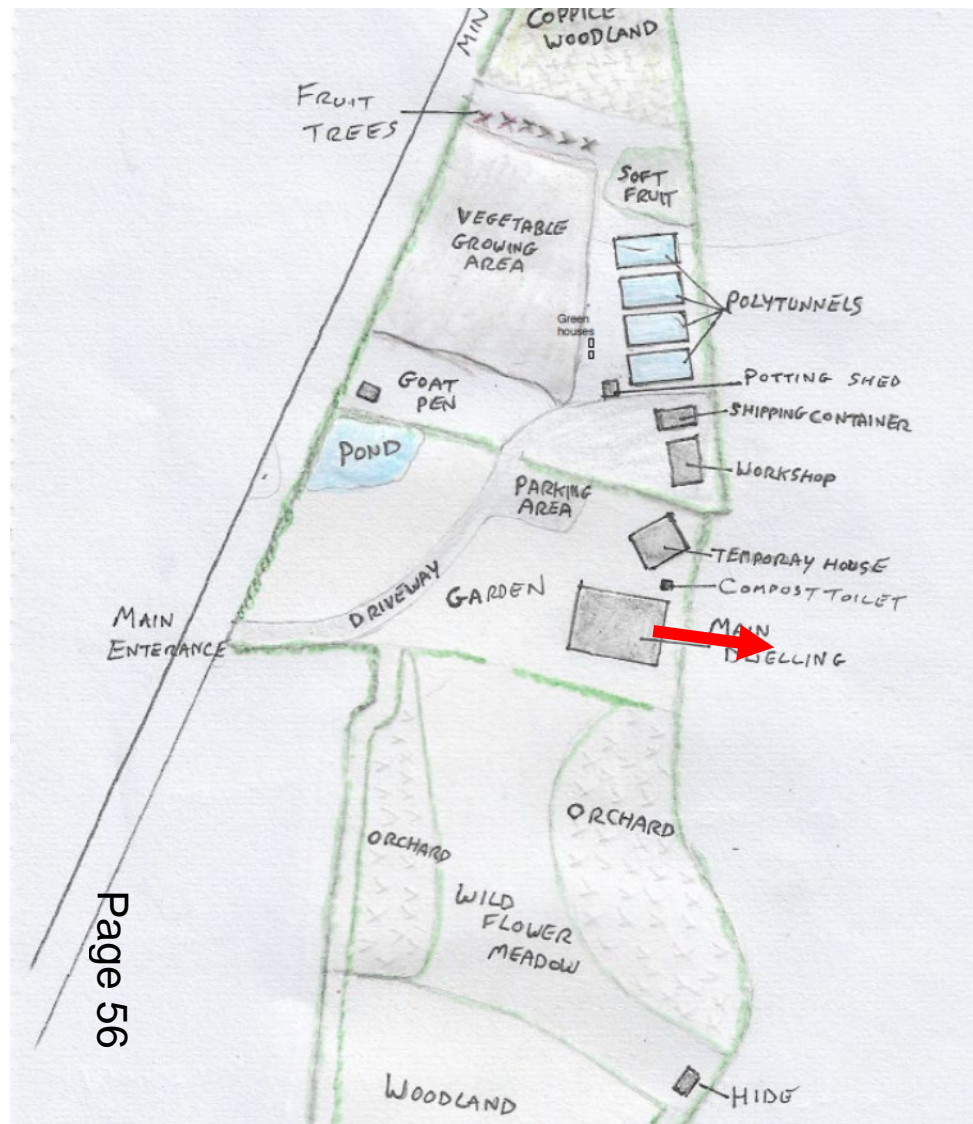
PL/00799 Looking North East from Site of Dwelling



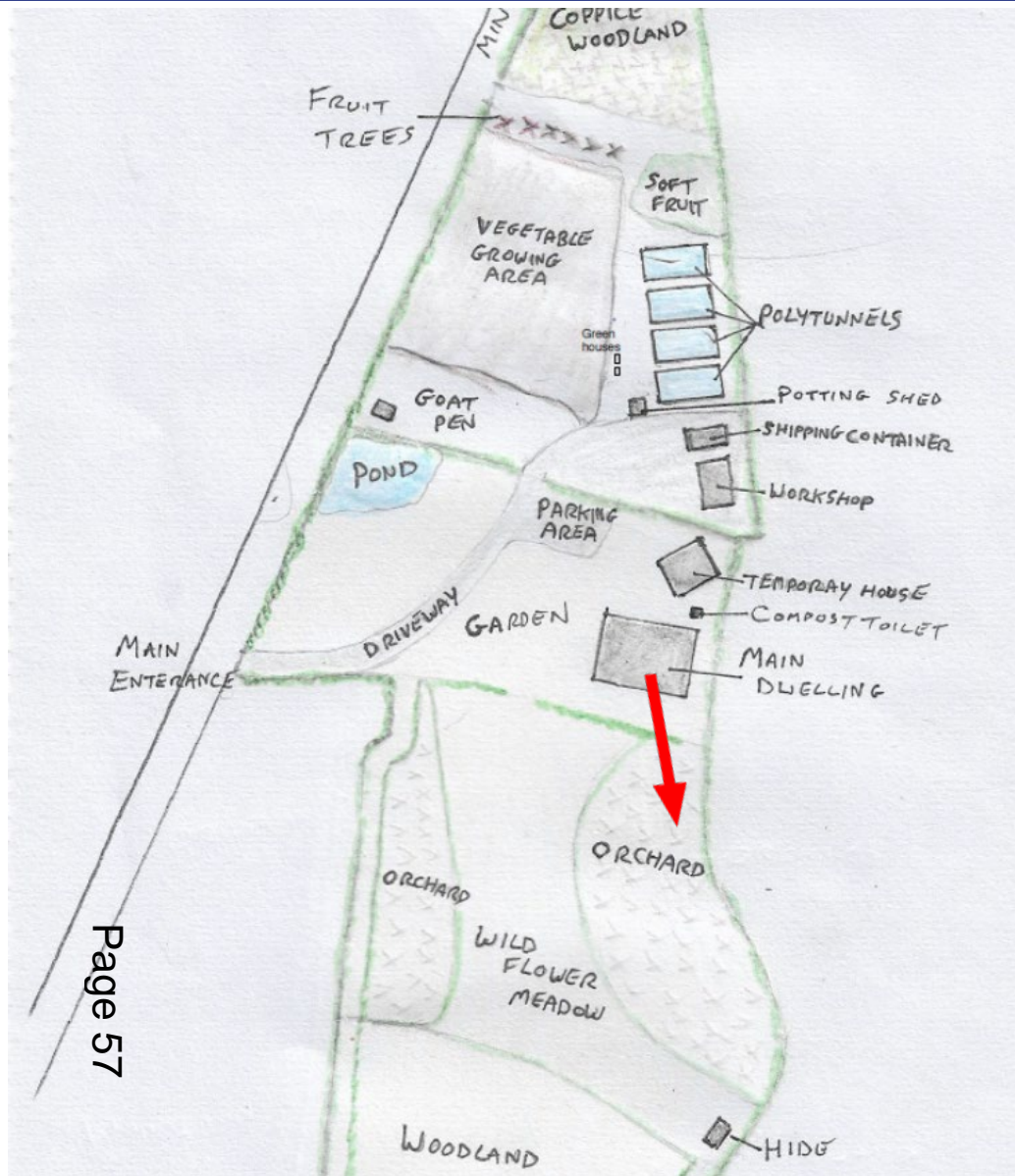
Page 55



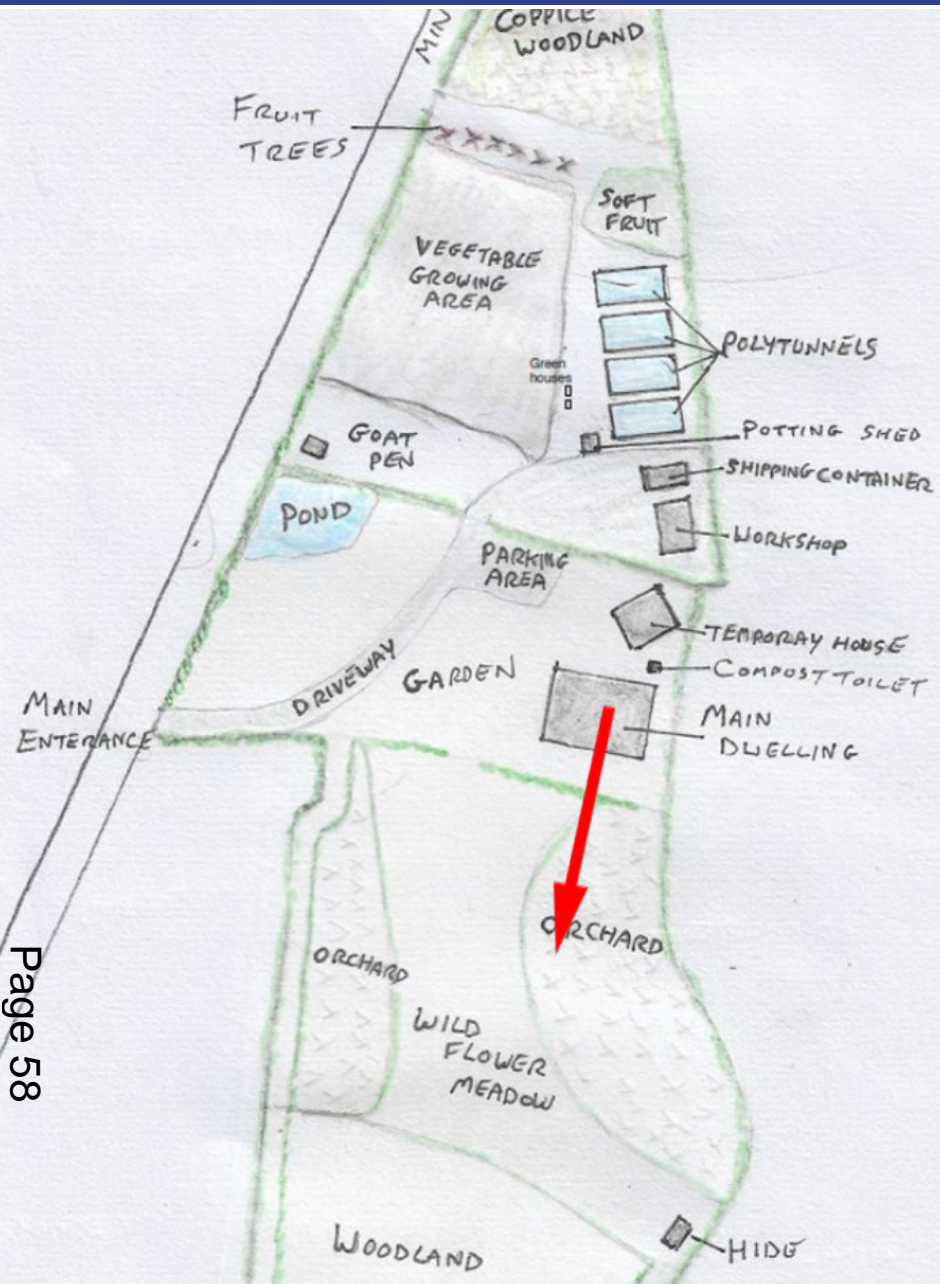
PL/00799 Looking East from Site of Dwelling



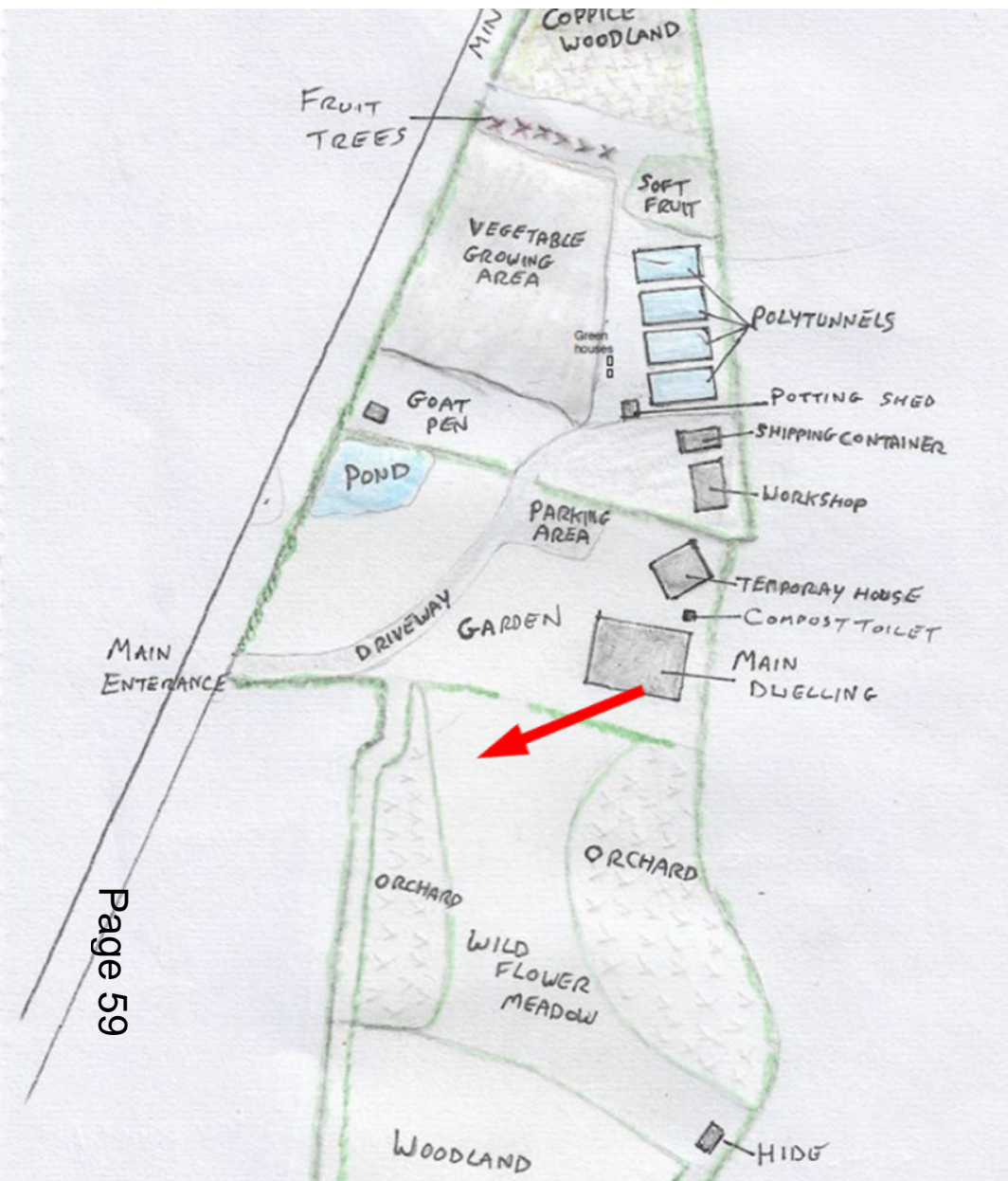
PL/00799 View Looking South East from Site of Dwelling



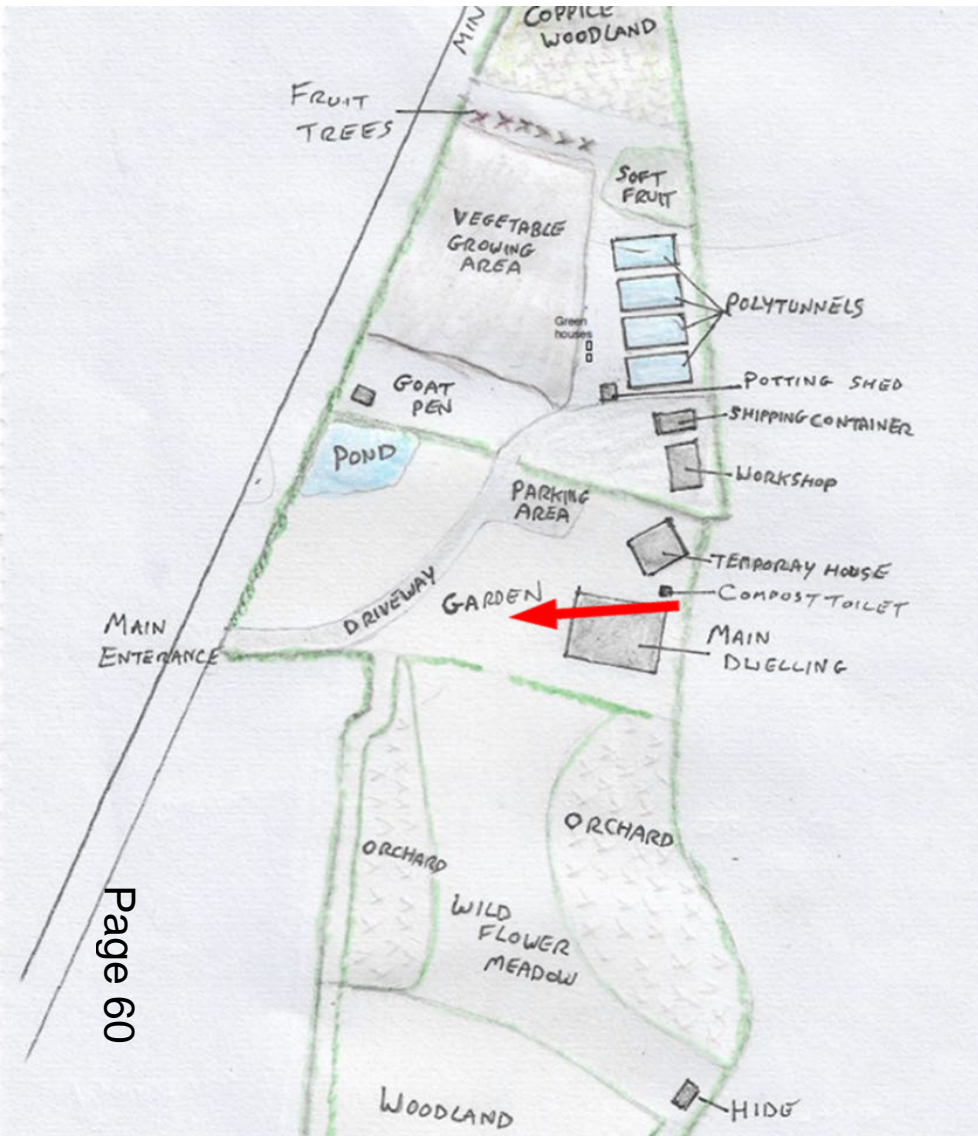
PL/00799 View Looking South



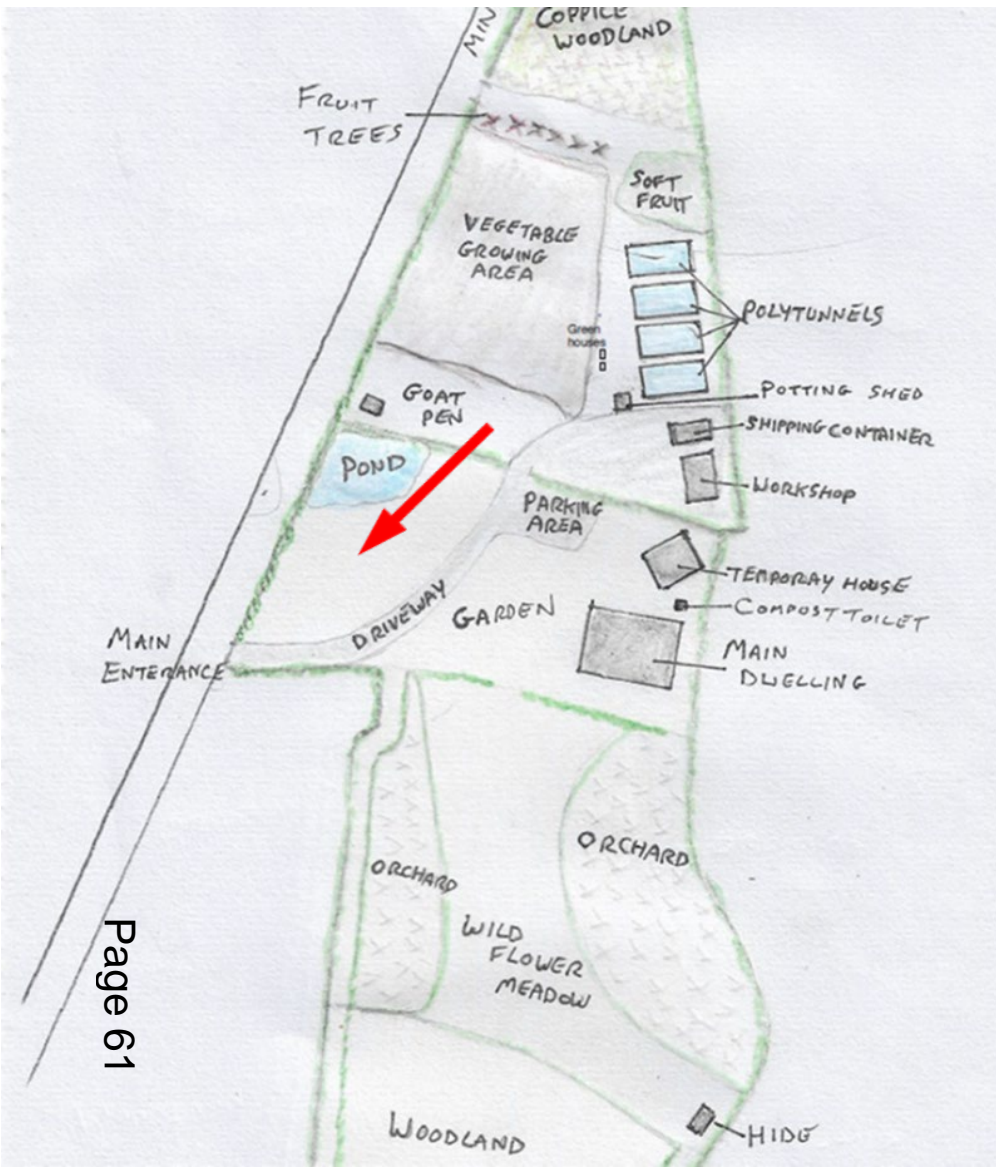
PL/00799 View Looking South West



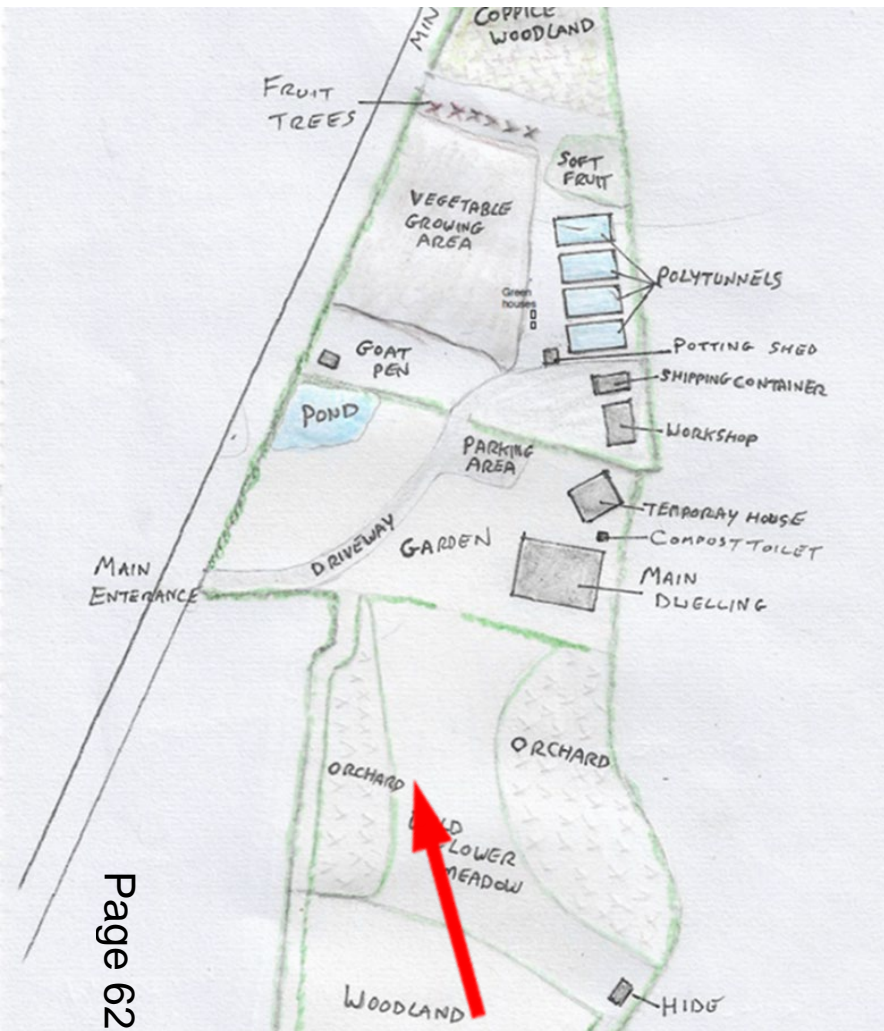
PL/00799 View Looking West Towards Main Access



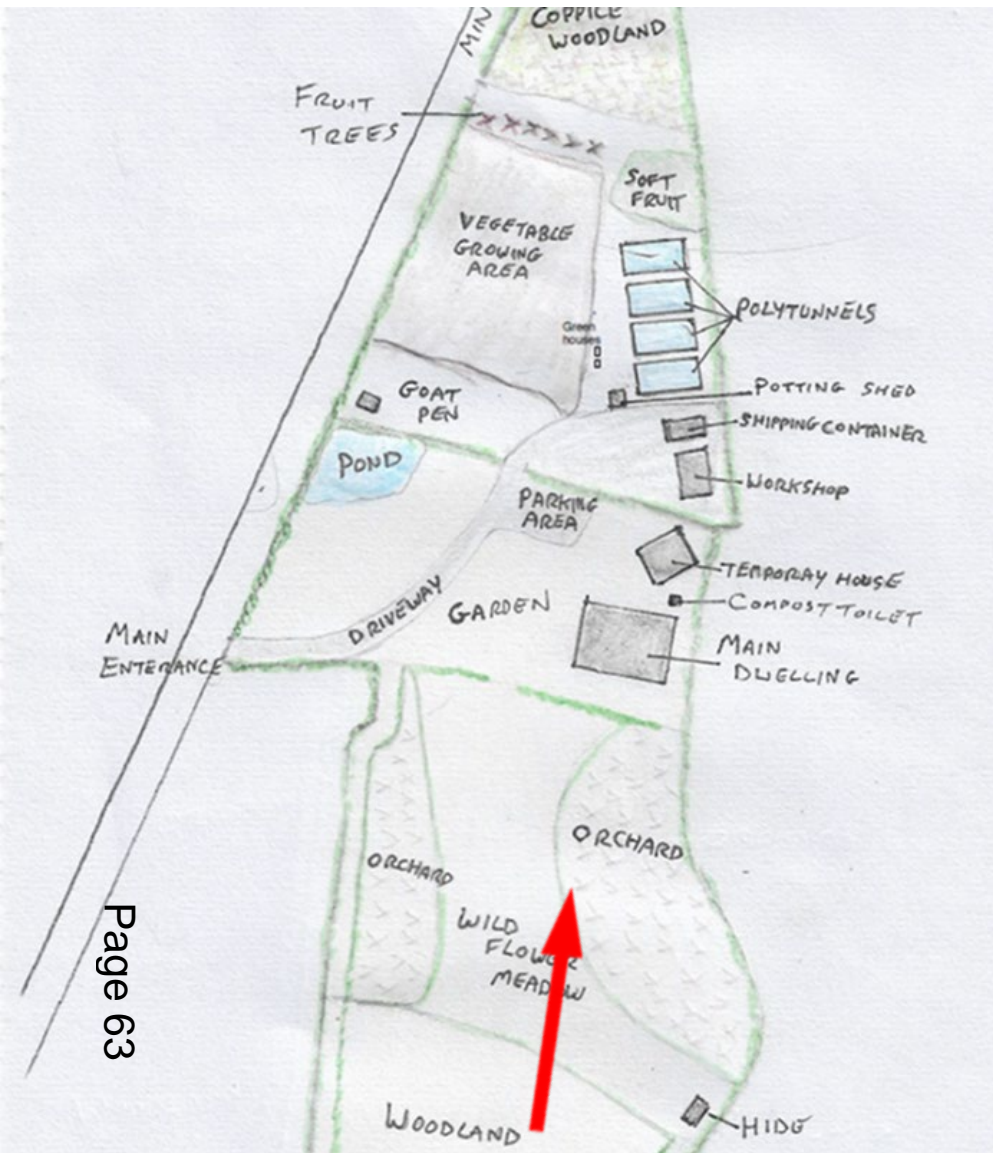
PL/00799 View Looking South West to Main Access



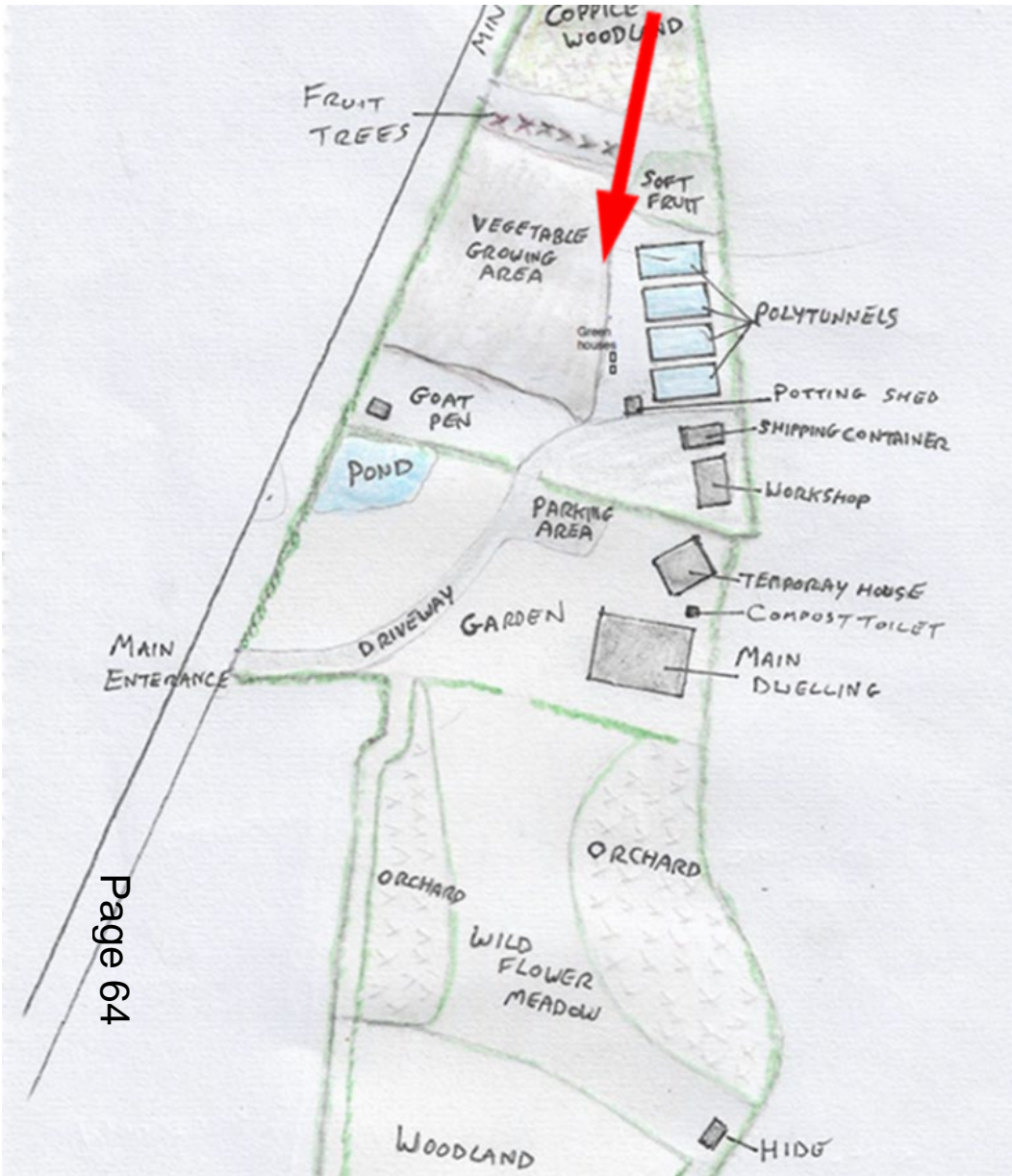
PL/00799 View from Top of Field Looking North West



PL/00799 View Looking North Across Whole Site



PL/00799 View Looking South Across Whole Site



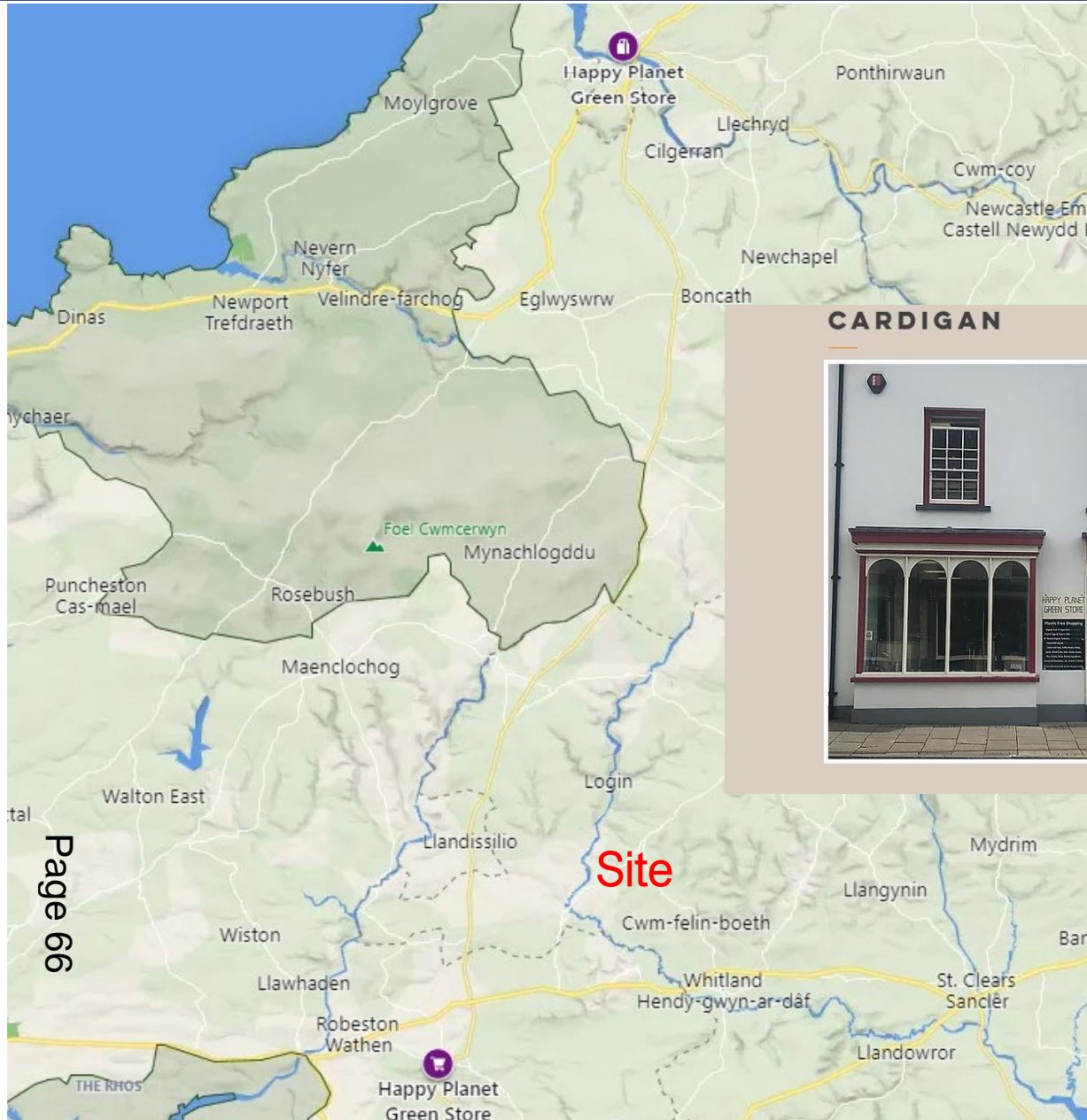
PL/00799 Land Based Businesses to Meet Food and Income Needs

- Vegetable Production
- Fruit Production – top fruit and soft fruit
- Herb growing
- Sale of vegetable, herb and flower plants
- Eggs from on site chickens

	Projected (year 5) minimum annual income needs	Land Based Activity	Year 3	Year 5	Year 7
Additional food	£2126.00	Vegetable Production	£3612	£4369	£5242
Clothing	£250	Fruit	£0	£3357	£4850
IT/Communications	£804	Herbs	£280	£280	£280
Travel	£1000	Plant Sales	£4159	£5470	£6567
Council Tax	£1111	Eggs	£958	£958	£958
Water	£550	Total Profit	£9009	£14434	£17897
Animal feed	£614				
Herb Production	£220				
Plant sales	£1011				
Total	£7686.00				

Total estimated land-based profit in years 3, 5 & 7

PL/00799 Existing Shops



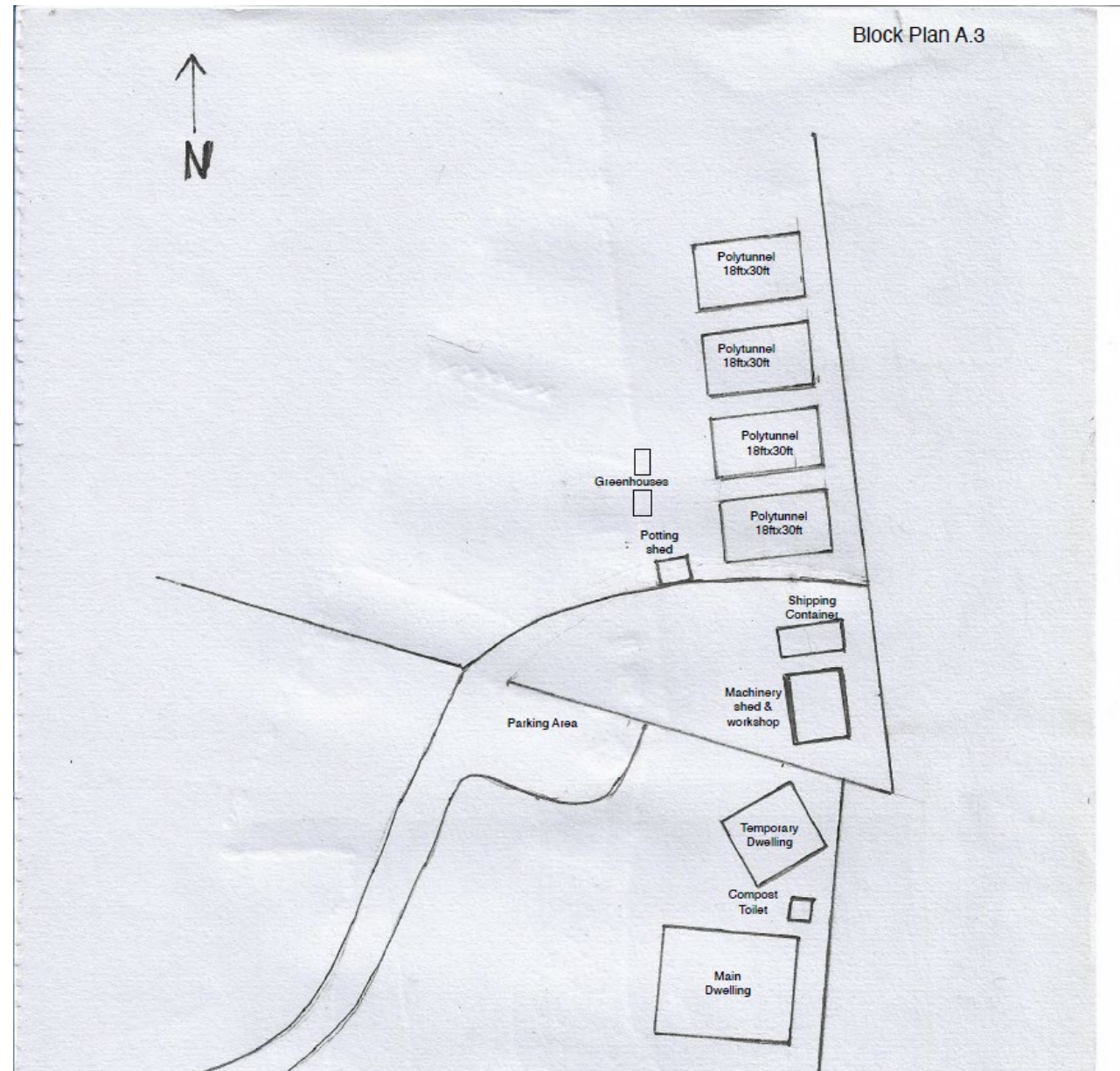
CARDIGAN



NARBERTH



PL/00799 Proposed Site Layout and Block Plan



PL/02848

Andrew Francis

Y Gwasanaethau Cynllunio - Planning Services
Adran Yr Amgylchedd - Environment Department

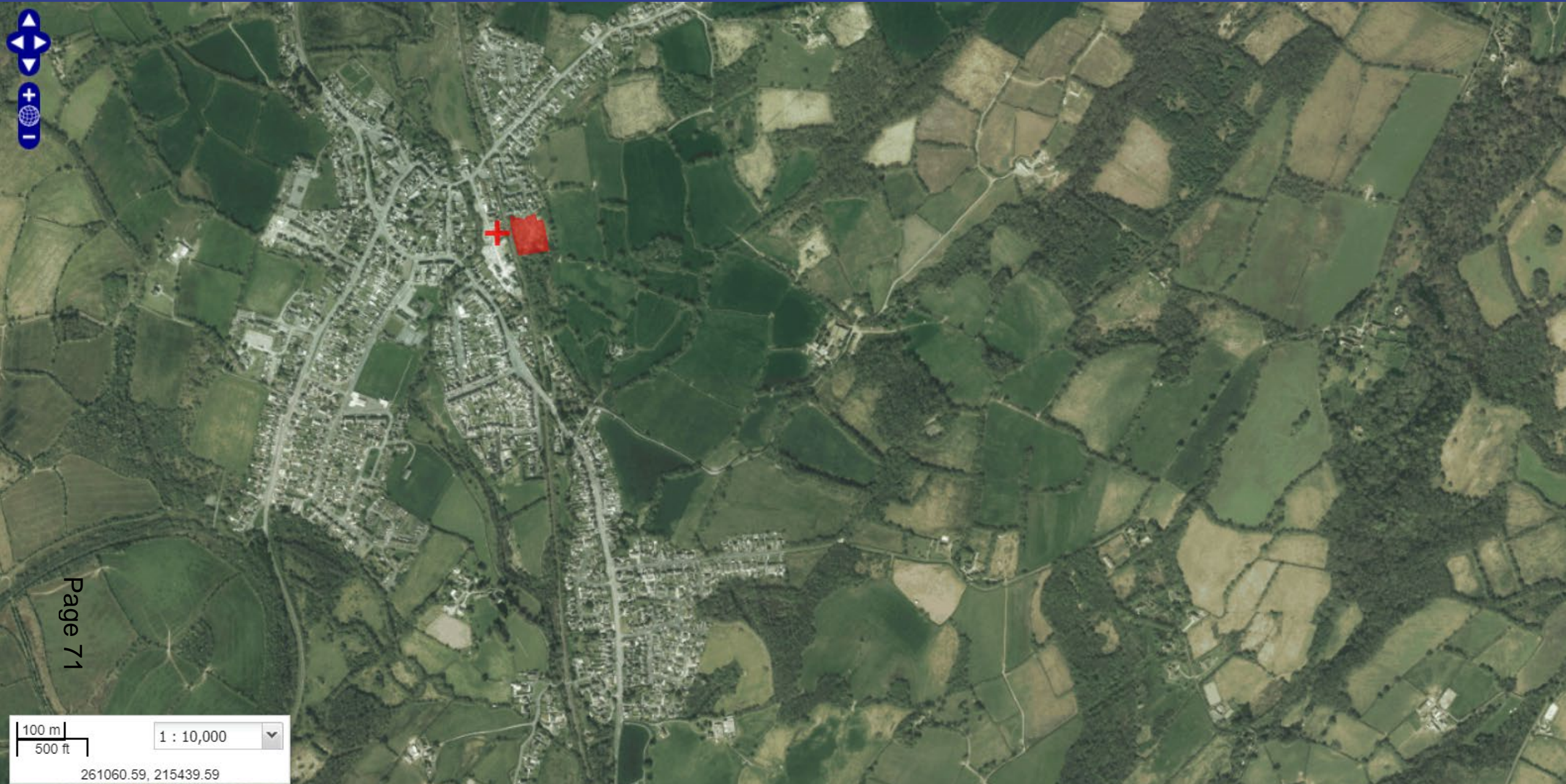
Page 68

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Carmarthenshire
County Council







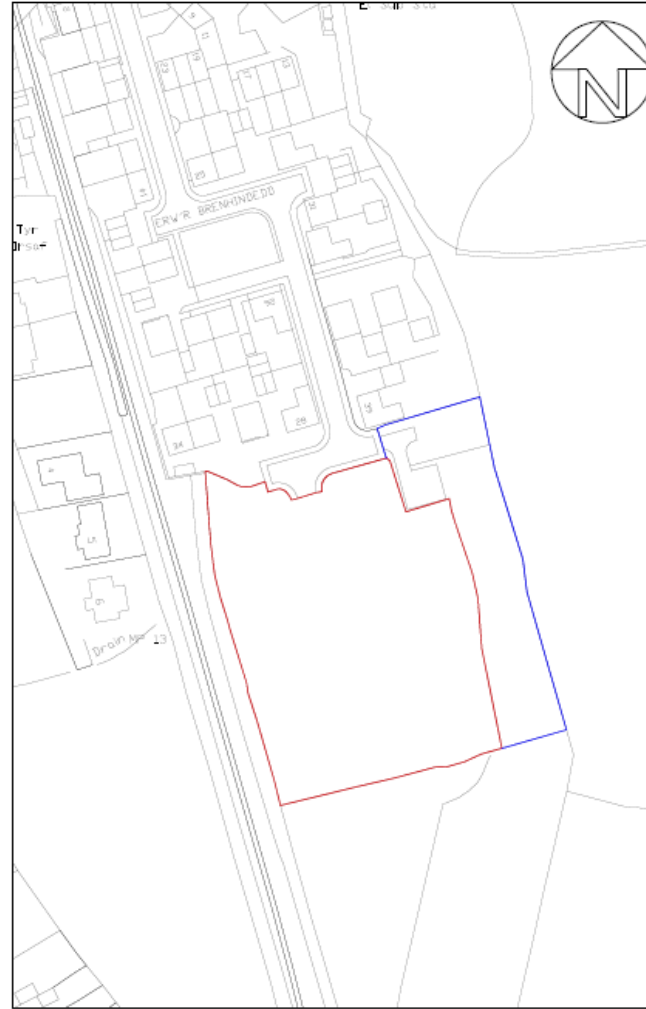


SITE BLOCK PLAN & LOCATION PLAN



Site Block Plan 1:750

LAND OFF ERW'R BREHINDEDD, LLANDYBIE



Site Location Plan 1:1250

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Revision	Description	Date
A	Inclusion of block into application site.	02.08.2021

Drawing Status
PLANNING



Prime Architecture Limited, 3 Lansdale Road,
 Cross Hands, Llandelli, SA14 6NA
 01249 842 575
 info@prime-arch.co.uk
 www.prim-arch.co.uk



Client:
 Ian Thomas Construction Services Ltd

Project Title:
 Residential Development of 24 Homes
 at Land off Erw'r Brehindedd, Llandybïe

Drawing Title:
 Site Block Plan & Location Plan

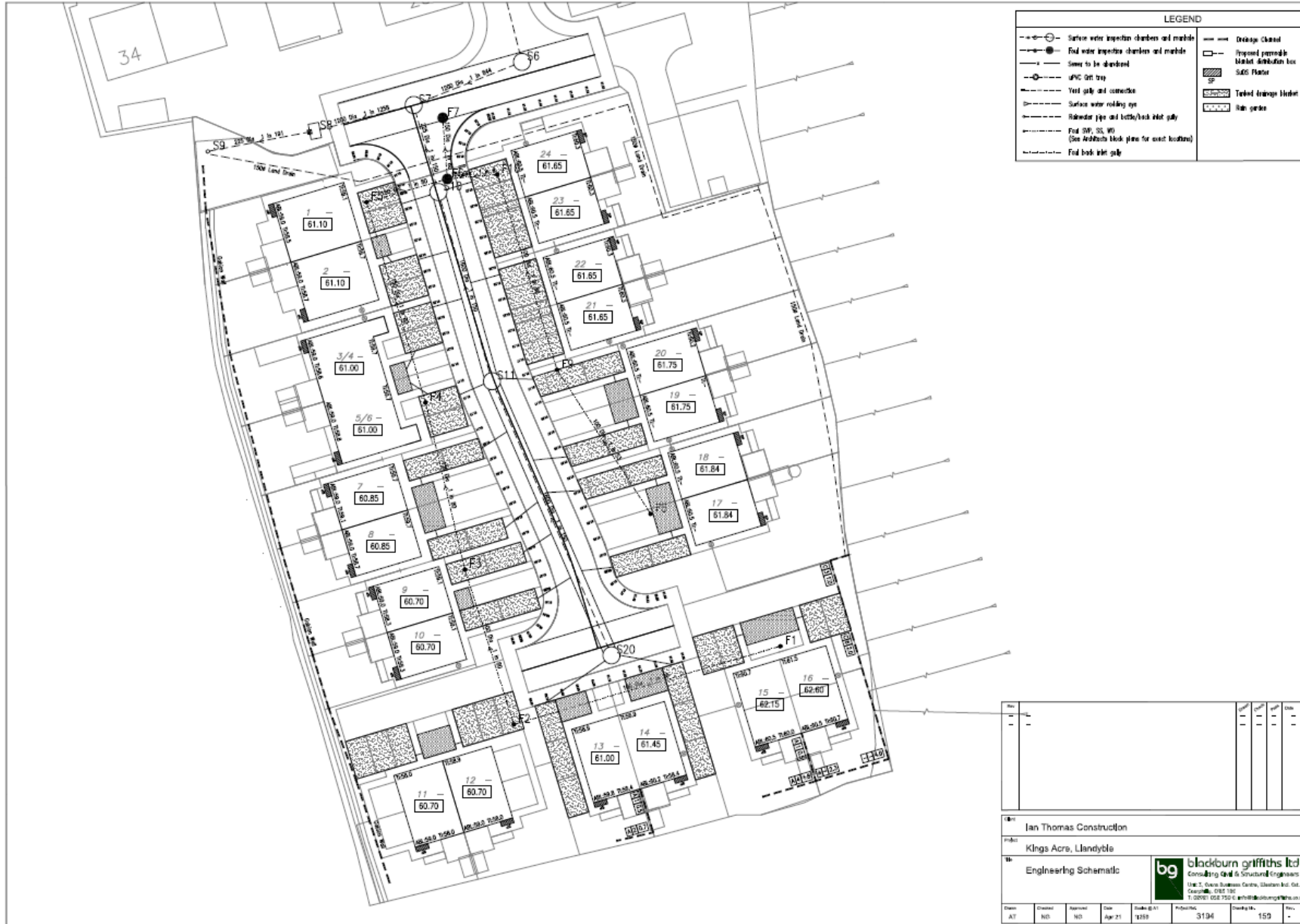
Scale:
 1:750 & 1:1250 @ A3
 Date:
 January 2021

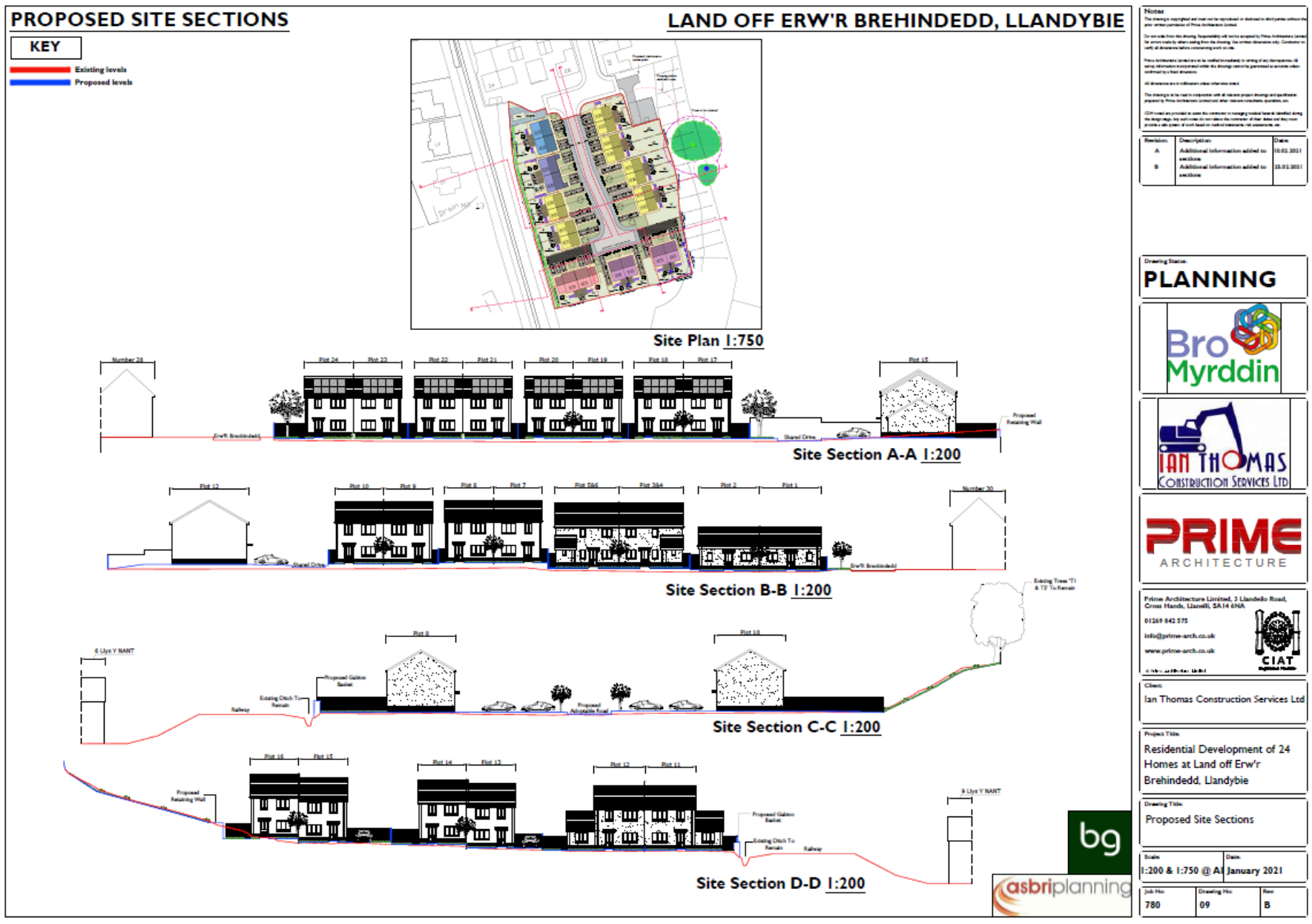
Job No.	Drawing No.	Rev.
780	10	A



PL/02848 – Previously Approved Scheme







Revision	Description	Date
A	Additional information added to sections	15.02.2021
B	Additional information added to sections	15.02.2021

Drawing Status:

PLANNING



Prime Architecture Limited, 2 Llandovery Road, Cross Hands, Llanelli, SA14 6NA
 01289 842 575
 info@prime-arch.co.uk
 www.prim-arch.co.uk

Client:
 Ian Thomas Construction Services Ltd

Project Title:
 Residential Development of 24 Homes at Land off Erw'r Brehindedd, Llandybie

Drawing Title:
 Proposed Site Sections

Scale:
 1:200 & 1:750 @ A1

Date:
 January 2021

Job No	Drawing No	Rev	
780	09	B	

PROPOSED FLOOR PLANS & ELEVATIONS

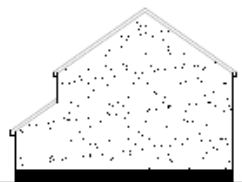
2 PERSON 1 BED - 57m²

PLOTS 3,4,5 & 6

LAND OFF ERW'R BREHINDEDD, LLANDYBIE



Front Elevation 1:100



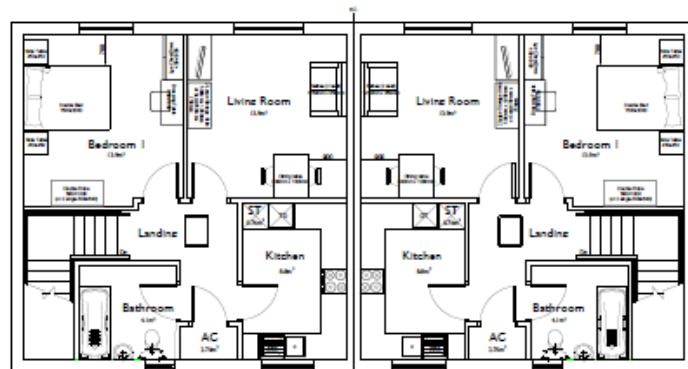
Side Elevation 1:100



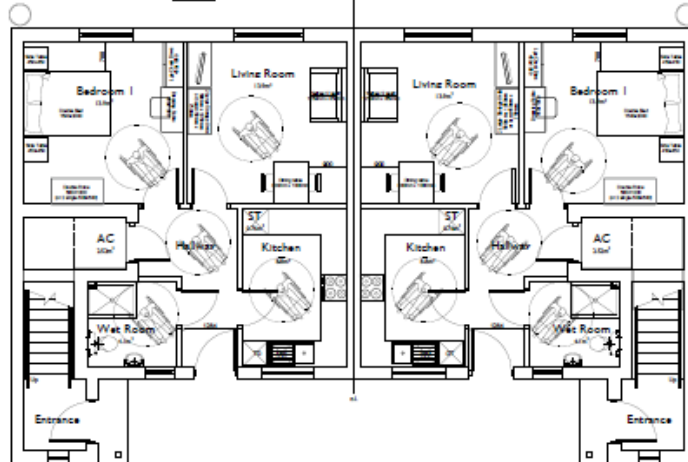
Rear Elevation 1:100



Side Elevation 1:100



First Floor Plan 1:50



Ground Floor Plan 1:50

External Finishes
 Walls - Grey Facing Brickwork Plinth & White Smooth Render
 Roof - Grey Interlocking Tiles
 Windows & Doors - Grey UPVC
 RWG - Grey PVC

Notes

The design is a conceptual one and is subject to approval or refusal by the planning authority at any time prior to the start of this construction phase.

The client shall be responsible for obtaining all necessary planning and building regulations approval for this development and for any other matters that may arise in connection with the development.

This development is intended to be used as a residential development and is not intended for any other use.

All dimensions are to be taken as indicated on the drawings unless otherwise stated.

The client shall be responsible for obtaining all necessary planning and building regulations approval for this development and for any other matters that may arise in connection with the development.

This drawing is intended to be used as a conceptual one and is subject to approval or refusal by the planning authority at any time prior to the start of this construction phase.

Revision	Description	Date
A	Preliminary presentation	12.01.2021
B	Preliminary presentation	15.03.2021
C	Preliminary presentation	16.03.2021

Drawing Title

PLANNING

PRIME

ARCHITECTURE

Prime Architecture Limited, 3 Lansdale Road, Cross Hands, Llanelli, SA14 6HA
 01299 843 575
 info@prime-arch.co.uk
 www.primarch.co.uk

Client
 Ian Thomas Construction Services Ltd

Project Title
 Residential Development of 24 Homes at Land off Erw'r Brehindedd, Llandybie

Drawing Title
 Proposed Floor Plans & Elevations - 2 Person 1 Bed HT

Scale
 1:50 & 1:100 @ A1 December 2020

Job No.	Drawing No.	Rev.
780	07	C

PROPOSED FLOOR PLANS & ELEVATIONS

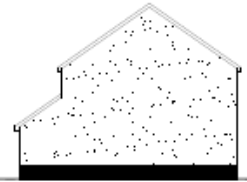
2 PERSON 1 BED - 57m²

PLOTS 3,4,5 & 6

LAND OFF ERW'R BREHINDEDD, LLANDYBIE



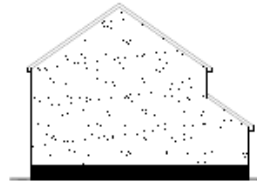
Front Elevation 1:100



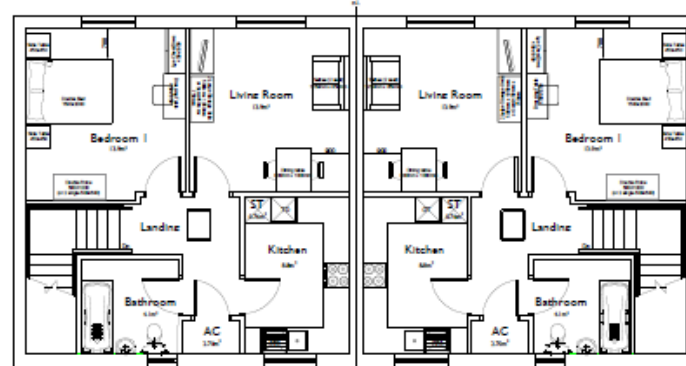
Side Elevation 1:100



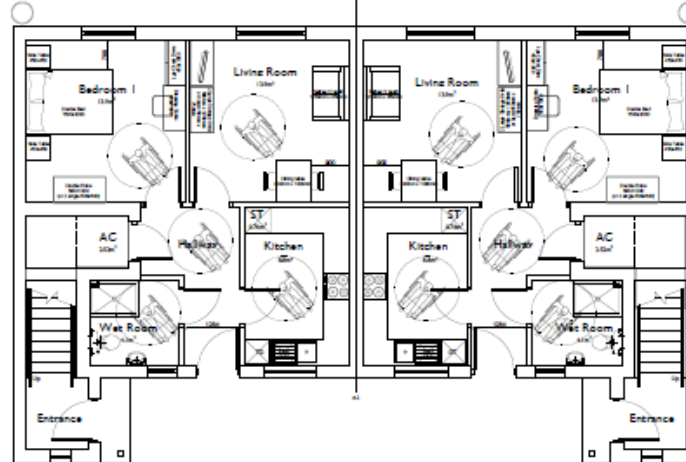
Rear Elevation 1:100



Side Elevation 1:100



First Floor Plan 1:50



Ground Floor Plan 1:50

External Finishes

Walls - Grey Facing Brickwork Plinth & White Smooth Render
 Roof - Grey Interlocking Tiles
 Windows & Doors - Grey UPVC
 RWG - Grey PVC

Notes

The drawings are prepared for the information of the client and are not to be used for any other purpose without the prior written consent of the architect.

The client is responsible for the design and construction of the building and the architect is not responsible for any errors or omissions in the drawings or for any damage to the building or any other property caused by the drawings.

The architect is not responsible for the design or construction of any other building or structure on the site or for any other property on the site.

The architect is not responsible for the design or construction of any other building or structure on the site or for any other property on the site.

Revision	Description	Date
A	Purchase annotation	12.01.2021
B	Purchase annotation	13.01.2021
C	Purchase annotation	16.02.2021

Drawing Title

PLANNING

PRIME

ARCHITECTURE

Prime Architecture Limited, 3 Lansdale Road, Crowlands, Llanelli, SA14 6HA
 01359 843 575
 info@prime-arch.co.uk
 www.primarch.co.uk

Client
 Ian Thomas Construction Services Ltd

Project Title
 Residential Development of 24 Homes at Land off Erw'r Brehindedd, Llandybie

Drawing Title
 Proposed Floor Plans & Elevations - 2 Person 1 Bed HT

Scale
 1:50 & 1:100 @ A1
 Date
 December 2020

Job No	Drawing No	Rev
780	07	C



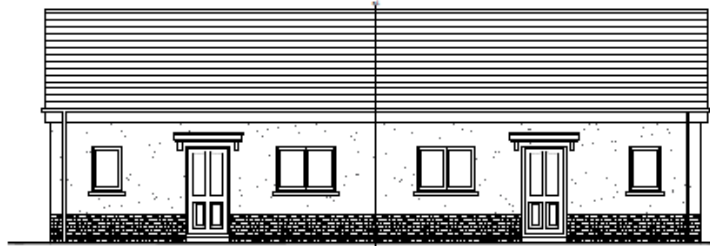
PROPOSED FLOOR PLANS & ELEVATIONS
3 PERSON 2 BED - 60m²
PLOTS 1 & 2

LAND OFF ERW'R BREHINDEDD, LLANDYBIE

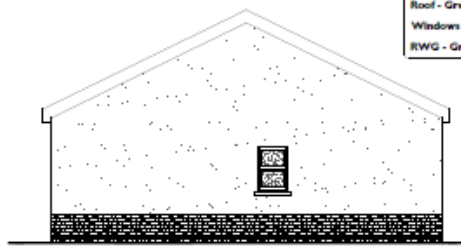
External Finishes
 Walls - Grey Facing Brickwork Plinth & White Smooth Render
 Roof - Grey Interlocking Tiles
 Windows & Doors - Grey UPVC
 RWG - Grey PVC

Notes
 The drawing is a conceptual one and is not intended to be used as a construction document for any other purpose than the information contained herein.
 It is the client's responsibility to ensure that the drawing is used for the intended purpose and that all necessary permissions and approvals are obtained.
 This drawing is not to be used for any other purpose without the written consent of the architect.
 All dimensions are to be taken as indicated unless otherwise stated.
 The client is to be held responsible for all errors and omissions in this drawing and for any consequences arising therefrom.
 The architect is not to be held responsible for any errors and omissions in this drawing and for any consequences arising therefrom.
 The architect is not to be held responsible for any errors and omissions in this drawing and for any consequences arising therefrom.

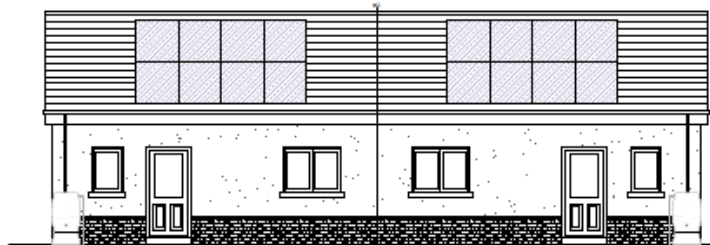
Revision	Description	Date
A	Preliminary consultation	12.01.2021
B	Preliminary consultation	15.03.2021
C	Preliminary consultation	18.03.2021



Front Elevation 1:50



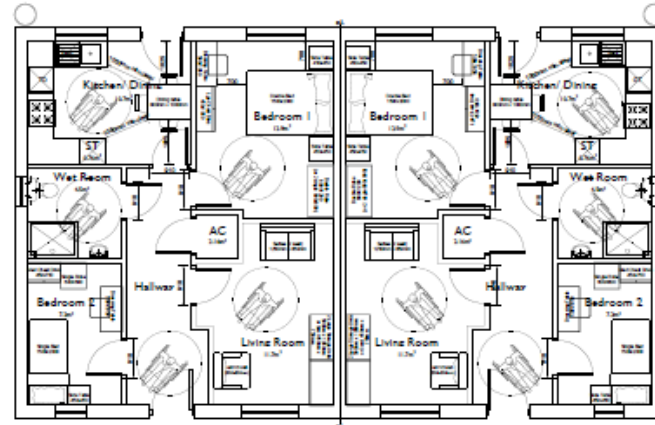
Side Elevation 1:50



Rear Elevation 1:50



Side Elevation 1:50



Ground Floor Plan 1:50

PLANNING



Prime Architecture Limited, 3 Lansdale Road,
 Crowlands, Llanelli, SA14 6PLA
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 info@prime-arch.co.uk
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 CIAT Registered Firm

Client:
 Ian Thomas Construction Services Ltd

Project Title:
 Residential Development of 24
 Homes at Land off Erw'r
 Brehindedd, Llandybie

Drawing Title:
 Proposed Floor Plans &
 Elevations - 3 Person 2 Bed HT

Scale	Date
1:50 @ A1	December 2020

Job No	Drawing No	Rev
780	05	C



PROPOSED FLOOR PLANS & ELEVATIONS

3 BEDROOM 5 PERSON - 93m²

PLOTS 13 & 14

PLOTS 15 & 16 - LCHO

LAND OFF ERW'R BREHINDEDD, LLANDYBIE

External Finishes

Walls - Grey Facing Brickwork Plinth & White Smooth Render

Roof - Grey Interlocking Tiles

Windows & Doors - Grey UPVC

RWG - Grey PVC



Front Elevation 1:100



Side Elevation 1:100



Rear Elevation 1:100



Side Elevation 1:100



Ground Floor Plan 1:50



First Floor Plan 1:50

Notes

The drawings are prepared on the basis of information provided to the architect and are not to be used for any other purpose without the written consent of the architect.

The client is responsible for obtaining all necessary permissions and consents from the relevant authorities for the proposed development.

The drawings are not to be used for any other purpose without the written consent of the architect.

All dimensions are in millimetres unless otherwise stated.

The drawings are the property of the architect and are not to be used for any other purpose without the written consent of the architect.

Revision	Description	Date
A	Partitions amended	15.03.2023
B	Partitions amended	25.05.2023

Drawing Status:

PLANNING







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Client: Ian Thomas Construction Services Ltd

Project Title: Residential Development of 24 Homes at Land off Erw'r Brehindedd, Llandybie

Drawing Title: Proposed Floor Plans & Elevations 3 Bed 5 Person HT

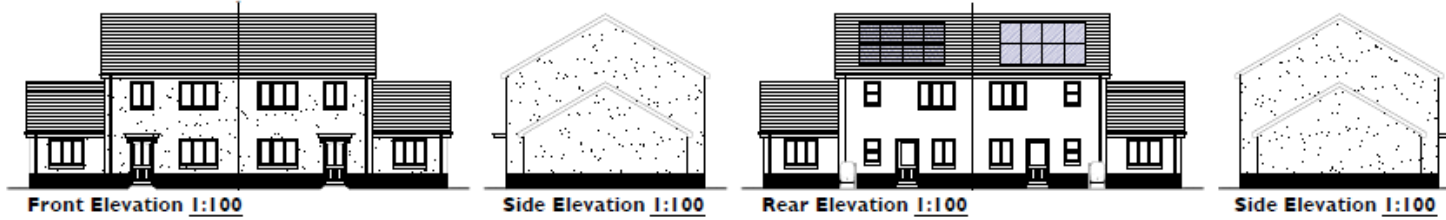
Scale	Date
1:50 & 1:100 @ A2	December 2020

Job No.	Drawing No.	Rev.
780	08	B

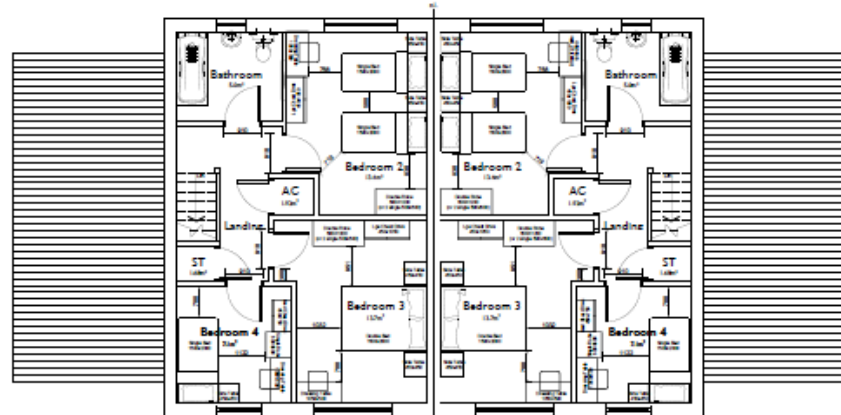


PROPOSED FLOOR PLANS & ELEVATIONS
7 PERSON 4 BED - 118m²
PLOTS 15 & 16

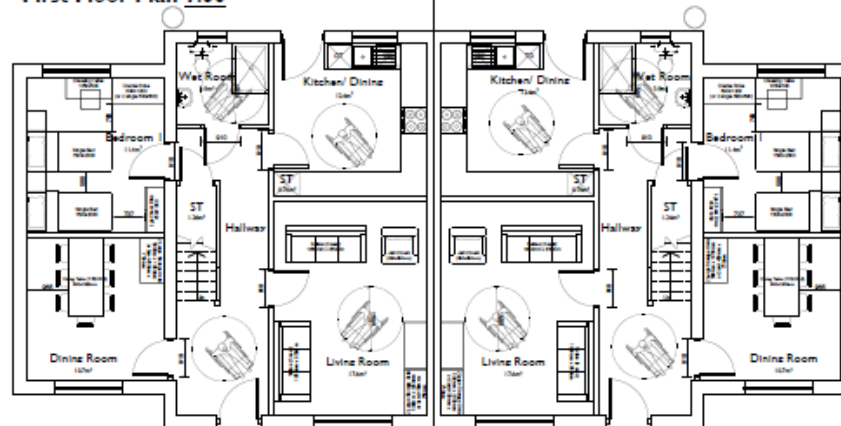
LAND OFF ERW'R BREHINDEDD, LLANDYBIE



External Finishes
 Walls - Grey Facing Brickwork Pilch & White Smooth Render
 Roof - Grey Interlocking Tiles
 Windows & Doors - Grey UPVC
 RWG - Grey PVC



First Floor Plan 1:50



Ground Floor Plan 1:50

Notes
 The drawing is a preliminary design and is not to be used for construction purposes without the written consent of the architect.
 It is the client's responsibility to ensure that all necessary permissions and consents are obtained from the relevant authorities.
 This drawing is not to be used for any other purpose without the written consent of the architect.
 All dimensions are to be taken as shown unless otherwise stated.
 The client is to be responsible for all costs of preparation and production of this drawing, including any necessary site visits and surveys.
 The architect is not responsible for any errors or omissions in this drawing, and the client is to be responsible for any such errors or omissions.
 The architect is not responsible for any structural or other engineering work, and the client is to be responsible for any such work.
 The architect is not responsible for any other work, and the client is to be responsible for any such work.

Revision	Description	Date
A	Finalisation	12.02.2021
B	Finalisation	20.02.2021

Planning



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 01309 840 575
 info@prime-arch.co.uk
 www.primeweb.co.uk
 11th Floor, 100-101, 102

Client:
 Ian Thomas Construction Services Ltd

Project Title:
 Residential Development of 24 Homes at Land off Erw'r Brehindedd, Llandudno

Drawing Title:
 Proposed Floor Plans & Elevations - 7 Person 4 Bed HT

Scale	Date	
1:50 & 1:100 (@ A1)	December 2020	
Job No	Drawing No	Rev
780	06	B

































PL/02849

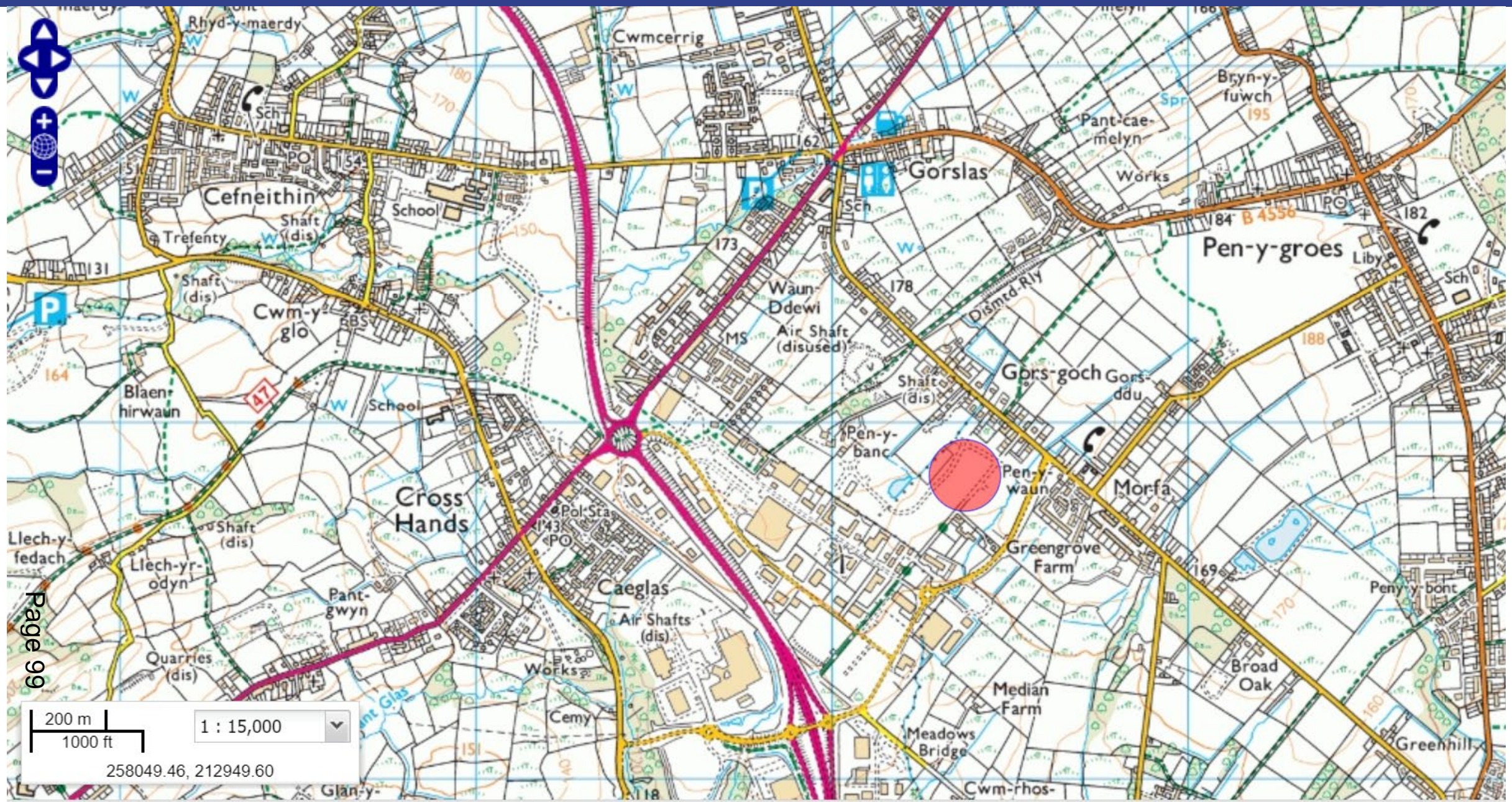
Gary Glenister

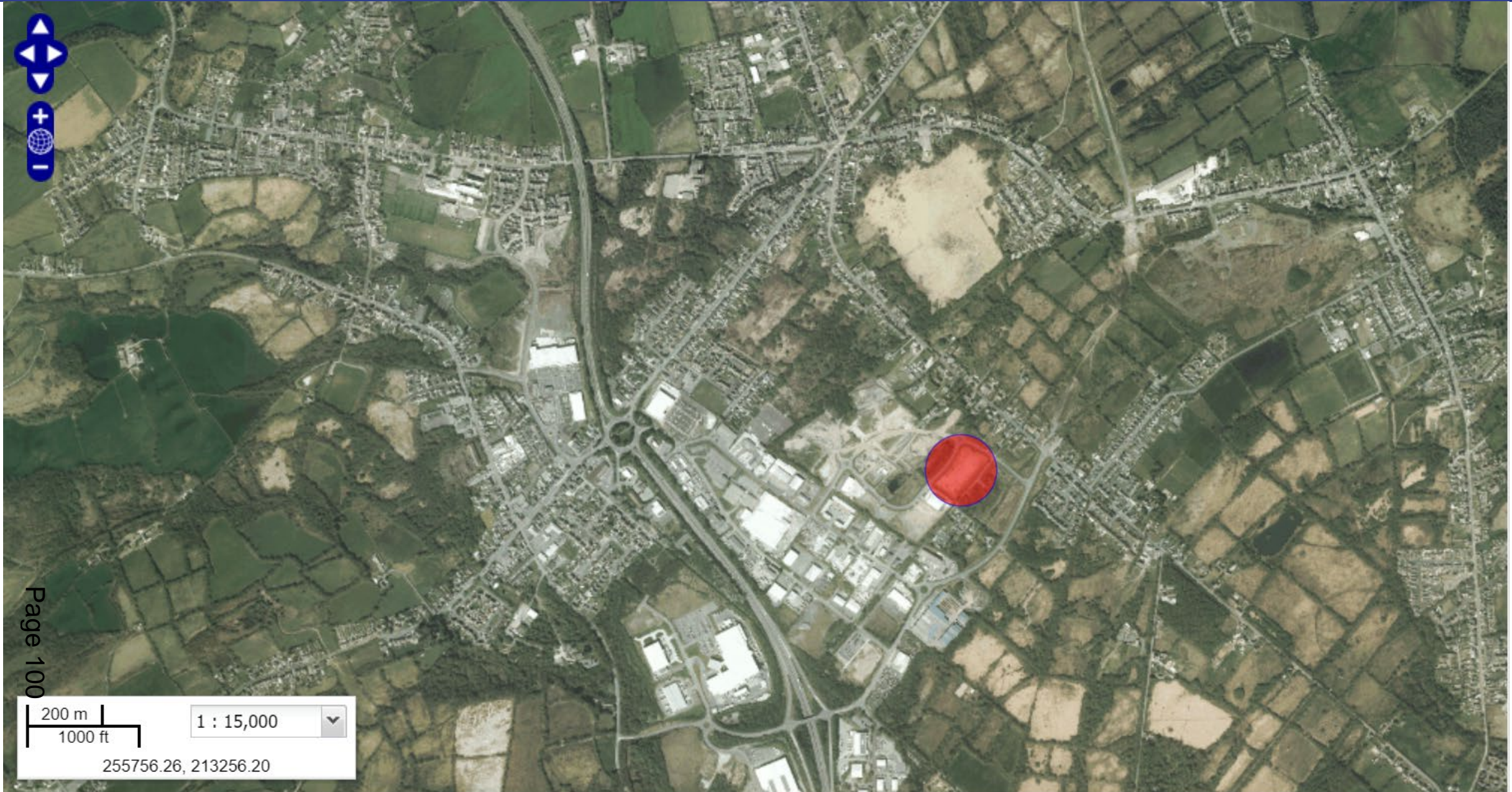
Y Gwasanaethau Cynllunio - Planning Services
Adran Yr Amgylchedd - Environment Department

Page 98

Cyngor **Sir Gâr**
Carmarthenshire
County Council



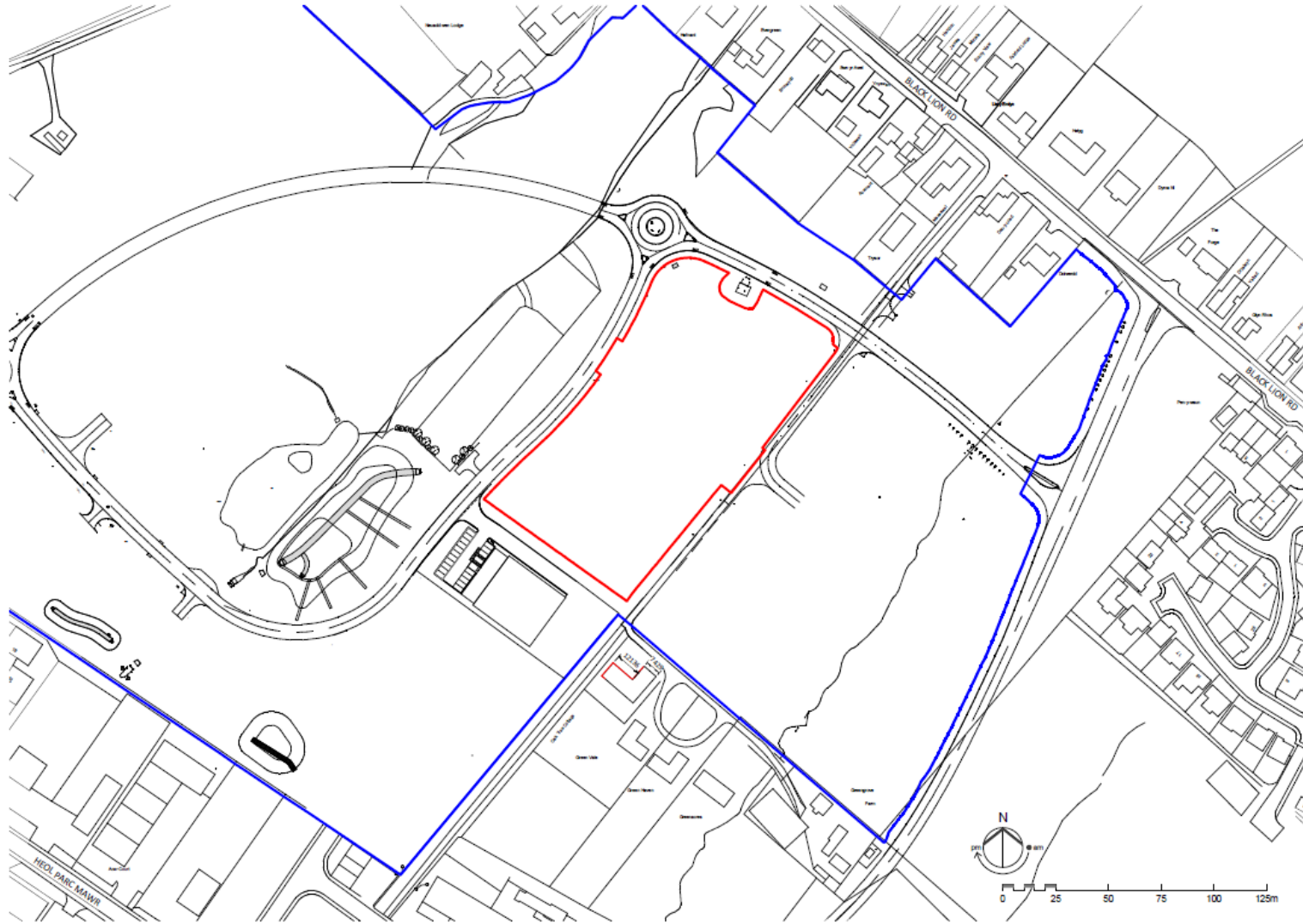




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Responsibility is not assumed for errors made by others in using this drawing. All coordinate information should be taken from original information only.

STATUS	REV	DATE	DESCRIPTION
SI	P10	09/01/21	Final Issue - for planning application
SI	P10	09/01/21	Assumed council ownership blue line boundary added
PL	P10	02/05/21	Final Planning Issue
PL	P10	13/06/21	Planning Issue
PL	P10	09/10/21	Red line adjusted per client feedback
PL	P107	01/11/21	Planning Issue

KEY

- Site Red Line Boundary
- Assumed council ownership blue line boundary

Site Location Plan
1:1250

TITLE: Site Location Plan
PROJECT: Cross Hands East Plot 3
CLIENT: Carmarthenshire County Council

REVISED BY: FM
CHECKED BY: RC
ORIGINATOR NO: 153962

SUITABILITY STATUS: PL - Planning
DRAWING USAGE:
SCALE: As indicated @A2

PROJECT - ORIGINATOR - ZONE - LEVEL - TYPE - ROLE - NUMBER
CHE-511-XX-00-DR-A-0001
STATUS_REVISION: PL_P107



Responsibility is not assumed for errors made by others in reading from this drawing. All measurements should be taken from original dimensions only.

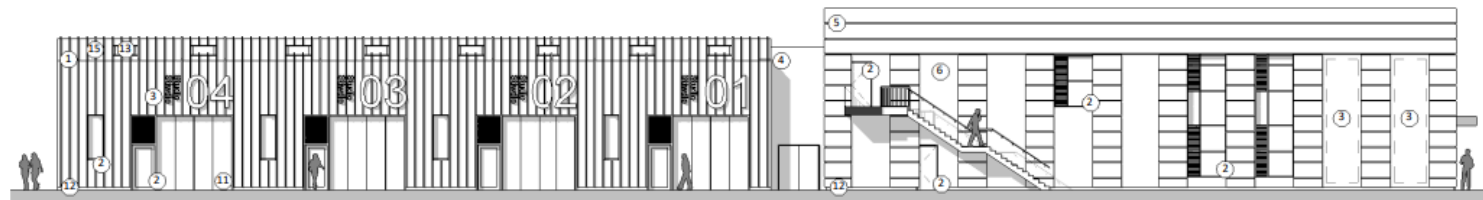
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PL	PL05	01/11/2019	Planning/Planning	044
PL	PL06	01/11/2019	Planning/Planning	044
PL	PL07	01/11/2019	Planning/Planning	044
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PL	PL15	01/11/2019	Planning/Planning	044
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STRIDE TREGLOWN
 CONSULTANTS
 PROJECT
 Cross Hands East Plot 3
 Cross Hands, Llanelli, SA14 6RY

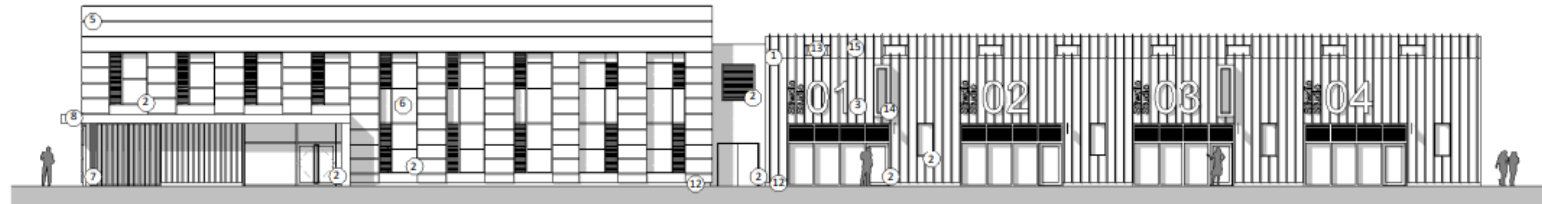
DATE: 01/11/2019
 DRAWING TITLE: Proposed site plan
 SCALE: 1:500@A2
 PROJECT: CHE-STL-XX-ZZ-DR-A-0101
 DRAWING NO: PL_PLD1

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from Figured dimensions only.

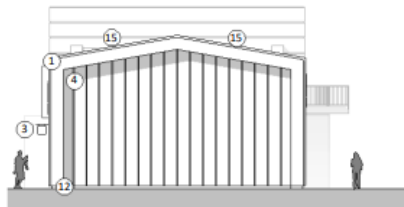
STATUS	REV	DATE	DESCRIPTION
PL	PL01	05/04/21	First planning issue
SI	PS1	14/02/21	Planning issue for Client Review
PL	PL02	17/02/21	Planning issue



North Elevation
1 : 200



South Elevation
1 : 200



East Elevation
1 : 200



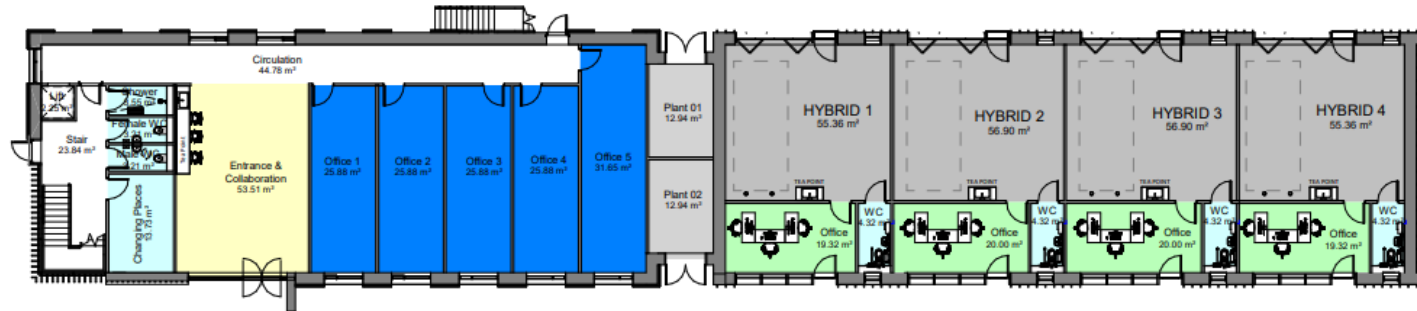
West Elevation
1 : 200

MATERIAL KEY

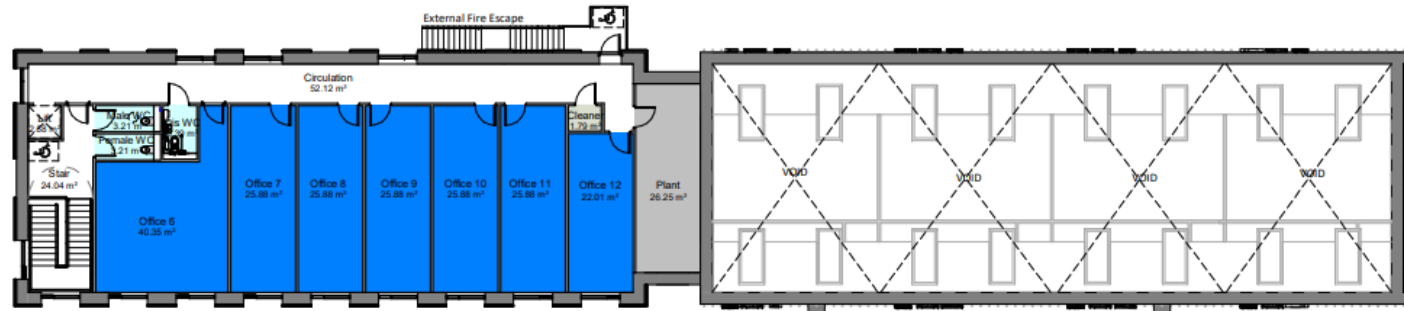
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- ② Aluminium frame window & doors
- ③ Signage - Indicative only TBC
- ④ Light Grey Vertical Cladding
- ⑤ Light Grey Horizontal Cladding
- ⑥ Dark Grey Panel
- ⑦ Timber Fins
- ⑧ Metal PPC Coloured Canopy
- ⑨ Timber Sliding Door Cover
- ⑩ Metal PPC Coloured Edging
- ⑪ Folding Door
- ⑫ Plinth
- ⑬ Rooflight
- ⑭ Aluminium frame window with coloured cladding surround
- ⑮ PV panels - size & location TBC

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.

STATUS	REV	DATE	DESCRIPTION
PL	PL01	04/08/21	First planning issue
SI	SI01	13/08/21	Planning issue for Client Review
PL	PL02	13/08/21	Planning issue
PL	PL03	04/10/21	Planning issue



Office & Hybrid - Ground Floor Plan
1:200



Office & Hybrid - First Floor Plan
1:200

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.

STATUS	REV	DATE	DESCRIPTION
PL	PL01	01/09/21	First Planning Issue
SA	PS9	13/09/21	Planning Issue for Client Review
PL	PL02	17/09/21	Planning Issue

MATERIAL KEY

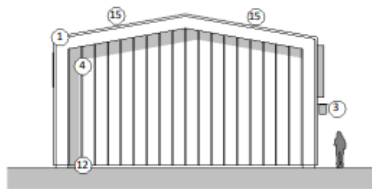
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- ② Aluminium frame window & doors
- ③ Signage - Indicative only TBC
- ④ Light Grey Vertical Cladding
- ⑤ Light Grey Horizontal Cladding
- ⑥ Dark Grey Panel
- ⑦ Timber Fins
- ⑧ Metal PPC Coloured Canopy
- ⑨ Timber Sliding Door Cover
- ⑩ Metal PPC Coloured Edging
- ⑪ Folding Door
- ⑫ Plinth
- ⑬ Rooflight
- ⑭ Aluminium frame window with coloured cladding surround
- ⑮ PV panels - size & location TBC



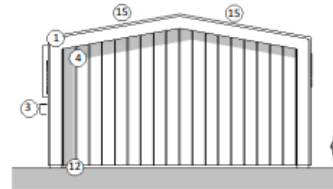
North Elevation
1 : 200



South Elevation
1 : 200



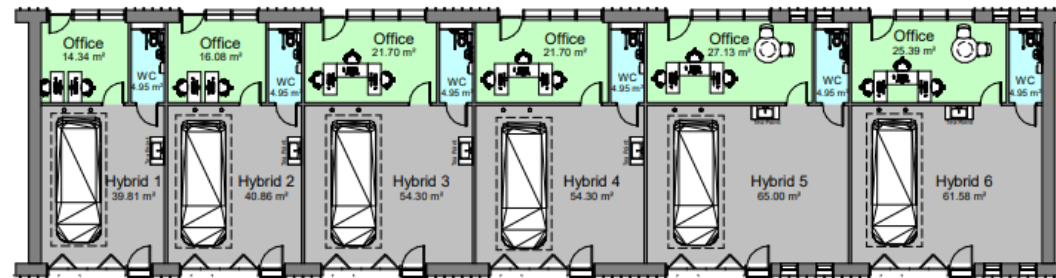
East Elevation
1 : 200



West Elevation
1 : 200

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.

STATUS	REV	DATE	DESCRIPTION
PL	PL03	01/09/21	First Planning Issue
SI	SI01	13/09/21	Planning Issue for Client Review
PL	PL03	23/09/21	Planning Issue



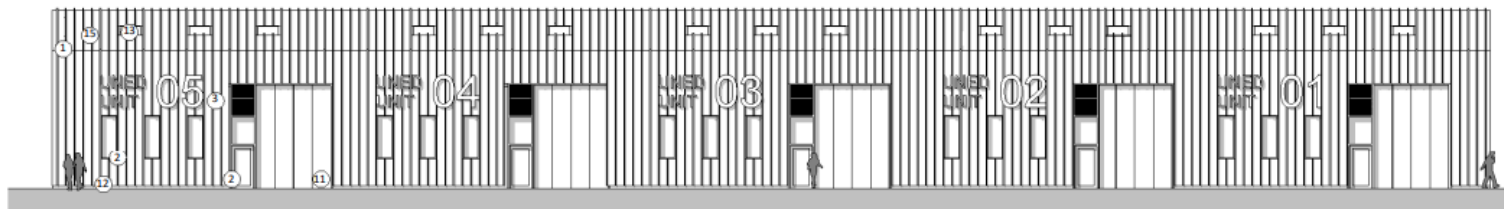
Hybrid Ground Floor Plan
1 : 200

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.

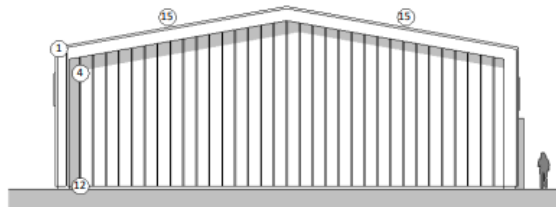
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SI	PL0	13/06/21	First Issue - Planning Issue for Client Review
PL	PL03	17/06/21	Planning Issue



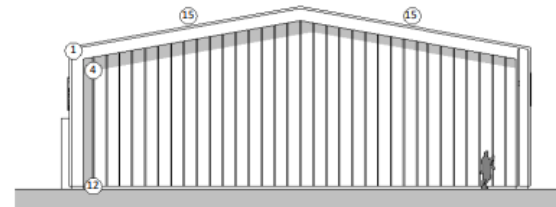
West Elevation - Public Facing
1 : 200



East Elevation - Service Yard Facing
1 : 200



South Elevation.
1 : 200



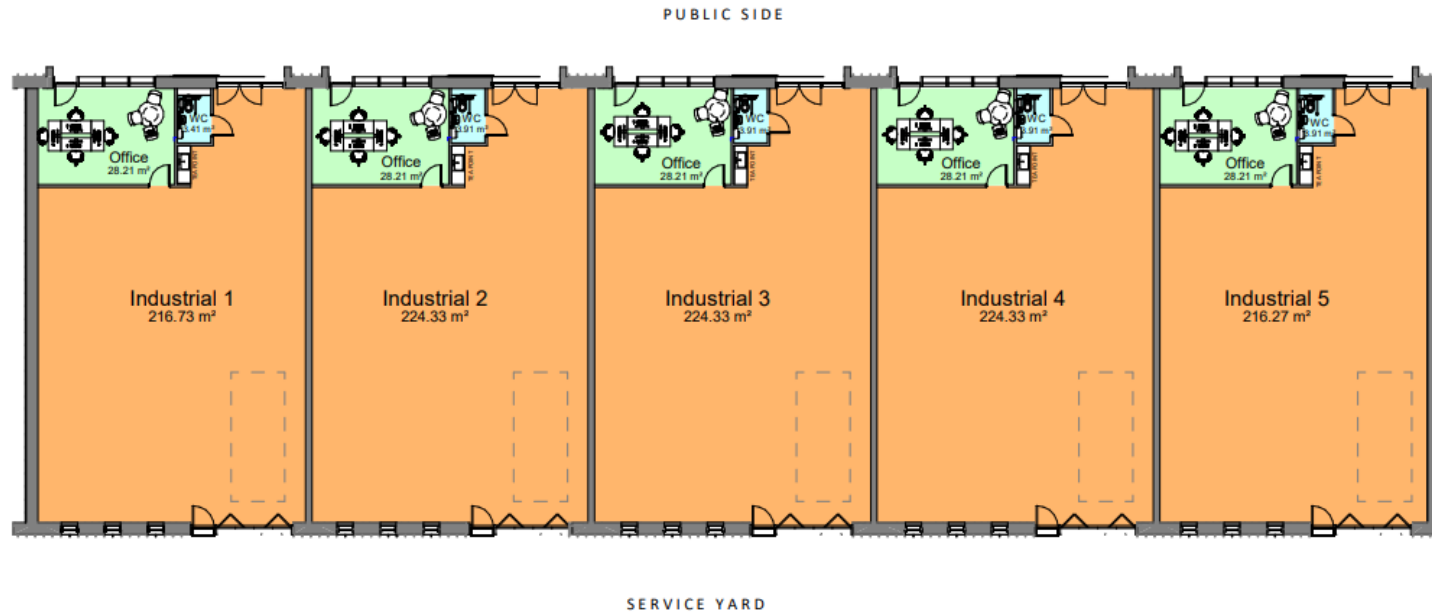
North Elevation
1 : 200

MATERIAL KEY

- ① Dark Grey Standing Seam Roof & Walls
- ② Aluminium frame window & doors
- ③ Signage - Indicative only TBC
- ④ Light Grey Vertical Cladding
- ⑤ Light Grey Horizontal Cladding
- ⑥ Dark Grey Panel
- ⑦ Timber Fins
- ⑧ Metal PPC Coloured Canopy
- ⑨ Timber Sliding Door Cover
- ⑩ Metal PPC Coloured Edging
- ⑪ Folding Door
- ⑫ Plinth
- ⑬ Rooflight
- ⑮ PV panels - size & location TBC

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.

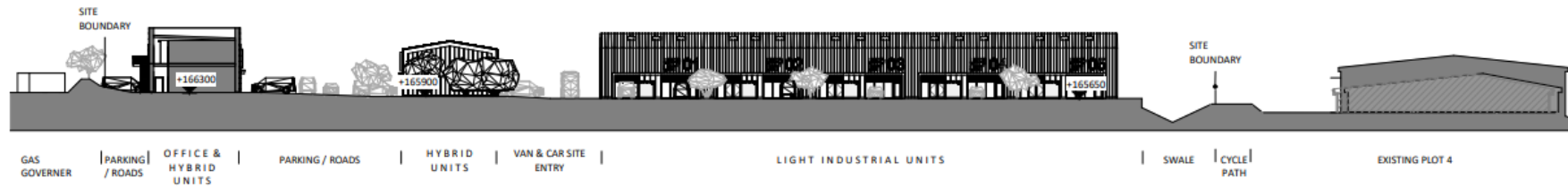
STATUS	REV	DATE	DESCRIPTION
P	PL03	01/08/21	First Planning Issue
S	P09	10/08/21	003 Issue - Planning Issue for Client Review
P	PL03	17/08/21	Planning Issue



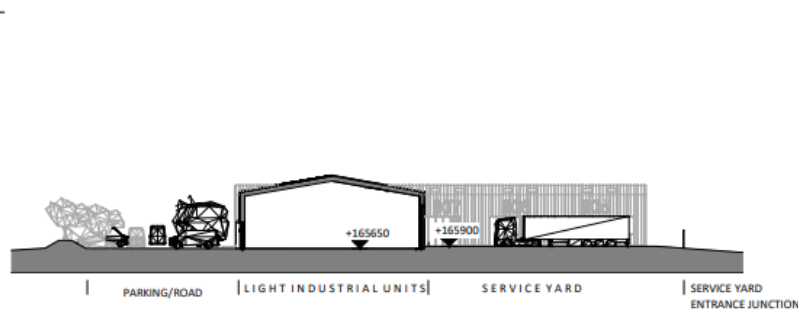
Industrial Ground Floor Plan
1 : 200

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All construction information should be taken from figured dimensions only.

STATUS	REV	DATE	DESCRIPTION
PL	PL03	17/08/21	First Issue - Planning
PL	PL05	06/10/21	Red line adjusted per client feedback



AA - West Section
1 : 500

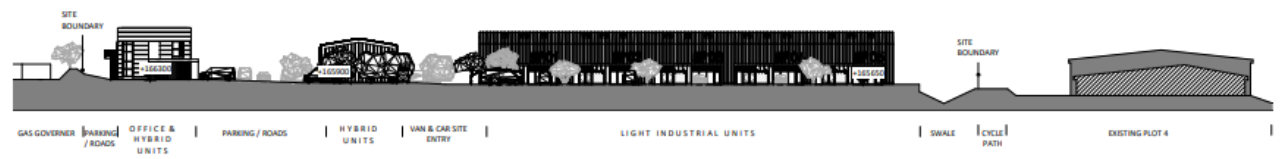


BB - South Section
1 : 500



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STATUS	REV	DATE	DESCRIPTION
PL	PL01	05/10/23	Pre-Submission - Planning Stage
PL	PL02	06/10/23	Final line adjusted per client feedback



Site Elevation - AA
1:500



Site Elevation - BB
1:500



Site Elevation - CC
1:500



Site Elevation - DD
1:500

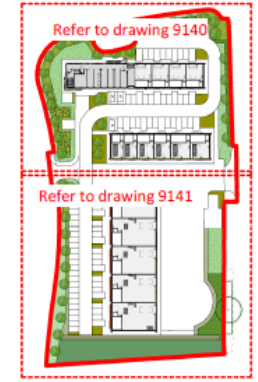


Section Key
1:2000



- ### Legend
- Planning Boundary
 - Trees and hedge to be retained and protected
Refer to Tree Protection, Removal and Retention Plan
CHE-STL-XX-XX-DR-L-9101
 - Proposed tree in soft
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Proposed shrub planting zone 1
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Proposed shrub planting zone 2
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Proposed tall shrub planting
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Proposed native shrub planting
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Proposed swale mix
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Proposed amenity grass mix
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Proposed rich grass mix
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
 - Existing Swale to be retained and protected during construction
 - Habitat Pile and Hibernaculum
Indicative location
 - Swift nesting box
Indicative location
5m above the ground high under the eaves outward facing on the façade.
 - 1B Schwegler nest box
Indicative location
Min 1.5m above ground
 - ▲ Bat box
Indicative location
3-6m height

Responsibility is not accepted for errors made by others in using this drawing.
All construction information should be taken from signed dimensions only.



Location Plan
1:1000

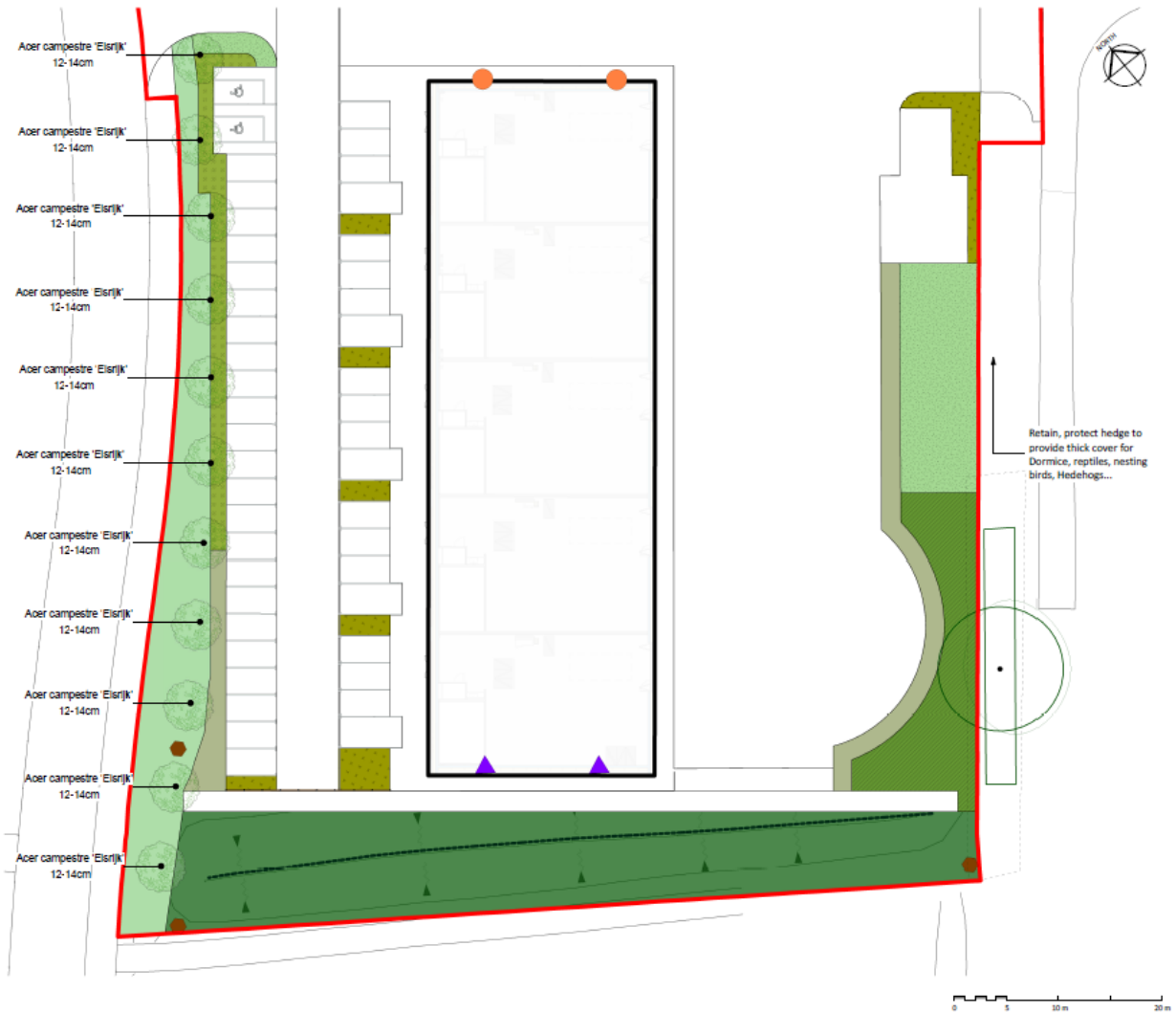
PL_PLOT	0012024	Planning Issue	Revised (the 2024 version issues)
PL_NUM	1101020	Planning Issue	Revised (the 2024 version issues)
STATUS	REV	DATE	SUBMITTER
CLIENT	Carmarthenshire County Council		REVISION BY
PROJECT	Cross Hands East Plot 3		DATE
			CHECKED BY
			DATE
			CONSTRUCTION NO
			ISSUED

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Cross Hands East Plot 3
Cross Hands, Llanelli, SA14 6RY

SOFT LANDSCAPE PLAN - SHEET 1 OF 2

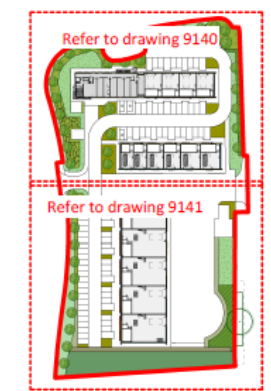
STATUS CODE	SCALE
PL: Planning	1:200@A1
DATE	DATE
CHE-STL-XX-XX-DR-L-9140	PL_PLOT



Legend

- Planning Boundary
- Trees and hedge to be retained and protected
Refer to Tree Protection, Removal and Retention Plan
CHE-STL-XX-XX-DR-L-9101
- Proposed tree in soft
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Proposed shrub planting zone 1
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Proposed shrub planting zone 2
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Proposed tall shrub planting
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Proposed native shrub planting
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Proposed swale mix
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Proposed amenity grass mix
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Proposed rich grass mix
Refer to Planting Schedule
CHE-STL-XX-XX-DR-L-SH01
- Existing Swale to be retained and protected during construction
- Habitat Pile and Hibernaculum
Indicative location
- Swift nesting box
Indicative location
5m above the ground high under the eaves outward facing on the façade.
- 18 Schwegler nest box
Indicative location
Min 1.5m above ground
- ▲ Bat box
Indicative location
3-6m height

Responsibility is not accepted for errors made by others in reading from this drawing.
All construction information should be taken from figured dimensions only.



Location Plan
1:1000

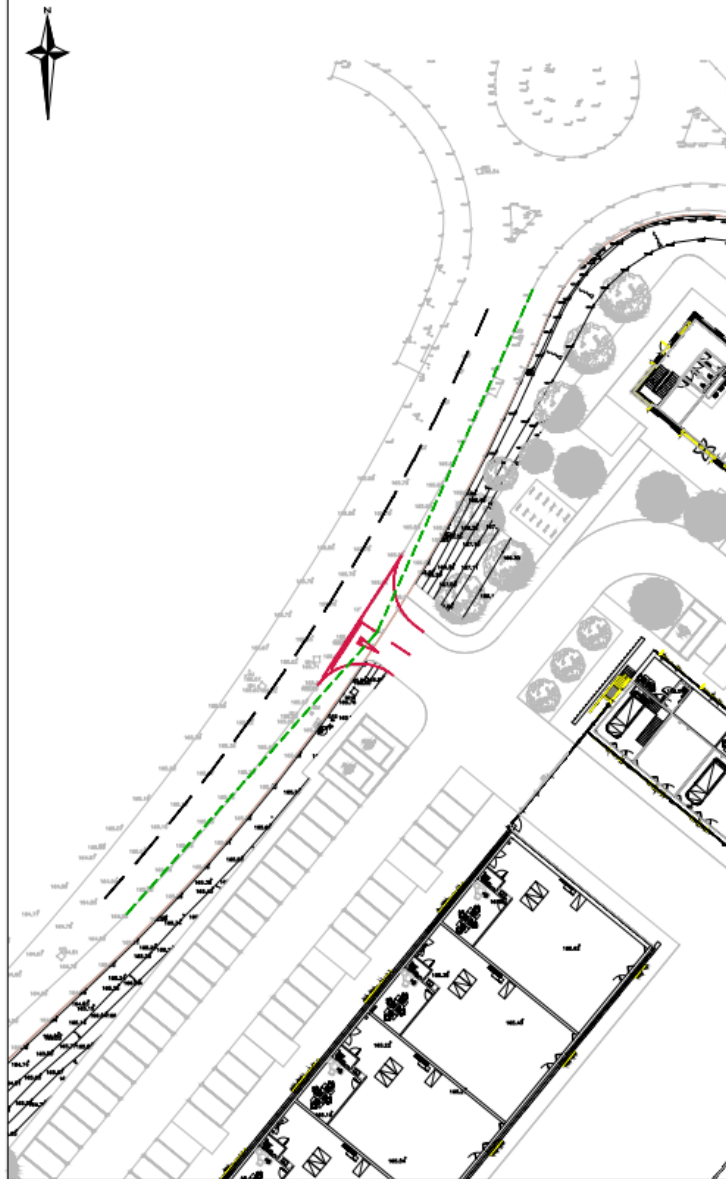
PL_PL07	03/10/21	Planning Issue	Revised the HDV access access
PL_PL08	13/10/21	Planning Issue	Revised Parking Layout to meet CIP Parking standards & provide New Transformer shed
ISSUED	REV	DATE	DESCRIPTION
CLIENT:			REVISION BY:
Carmarthenshire County Council			APJ
			CHECKED BY:
			US
			DESIGNATOR NO:
			152962

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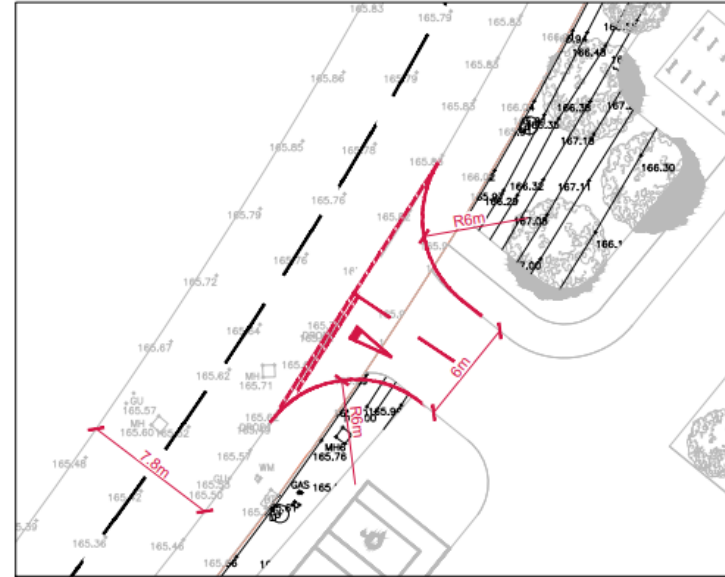
DRAWING TITLE
Soft Landscape Plan - Sheet 2 of 2

STATUS CODE	SCALE
PL - Planning	1:200 @A1
DRAWING NUMBER	Planning
PROJECT ORIGINATOR	VOLUME LEVEL TYPE NAME CLASS NUMBER
CHE-STL-XX-XX-DR-L-9141	STATUS_REVISION
	PL_PL07

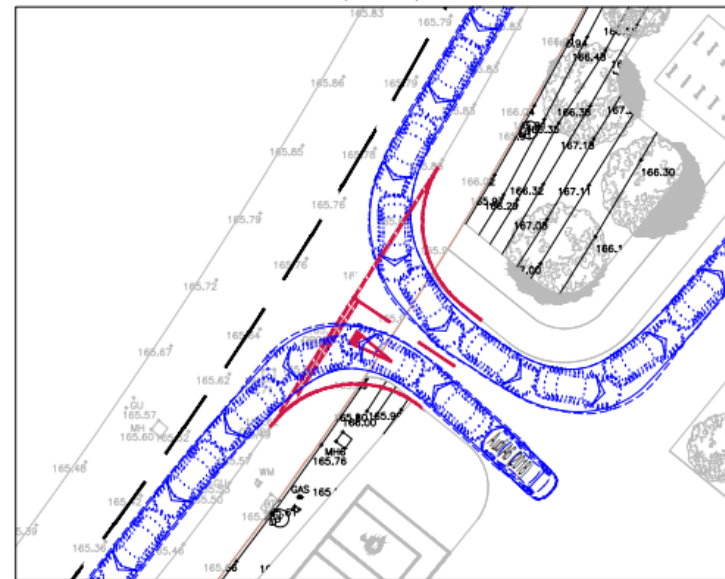
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JUNCTION VISIBILITY
(Scale: 1:500)



JUNCTION LAYOUT
(Scale: 1:250)



SWEEP PATH ANALYSIS
(Scale: 1:250)

GENERAL NOTES

1. THE CONTENT OF THIS DRAWING IS FOR INDICATIVE INFORMATION ONLY AND IS NOT SUITABLE FOR CONSTRUCTION PURPOSES.
 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS.
 3. DO NOT SCALE THIS DRAWING. ANY AMBIGUITIES, OMISSIONS AND ERRORS ON DRAWING SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ALL DIMENSIONS MUST BE CHECKED / VERIFIED ON SITE.
 4. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
 5. FOR SPECIFIC NOTES REFER TO DRAWING.
- SOURCE: ARCHITECT DRAWING NO. CH/EP-011-XX-03-DR-L-0001-P102

KEY

- FORWARD GEAR
- PROPOSED JUNCTION LAYOUT
- - - 2.4m x 4.0m VISIBILITY GRAY (Required by 30mph in line with MS2)

VEHICLE PROFILE

Aud A9 (2018)	4.939m
Overall Length	2.114m
Overall Width	1.627m
Overall Body Height	0.942m
Min Body Ground Clearance	0.227m
Max Track Width	1.527m
Wheelbase	2.827m
Kerb to Kerb Turning Radius	5.920m

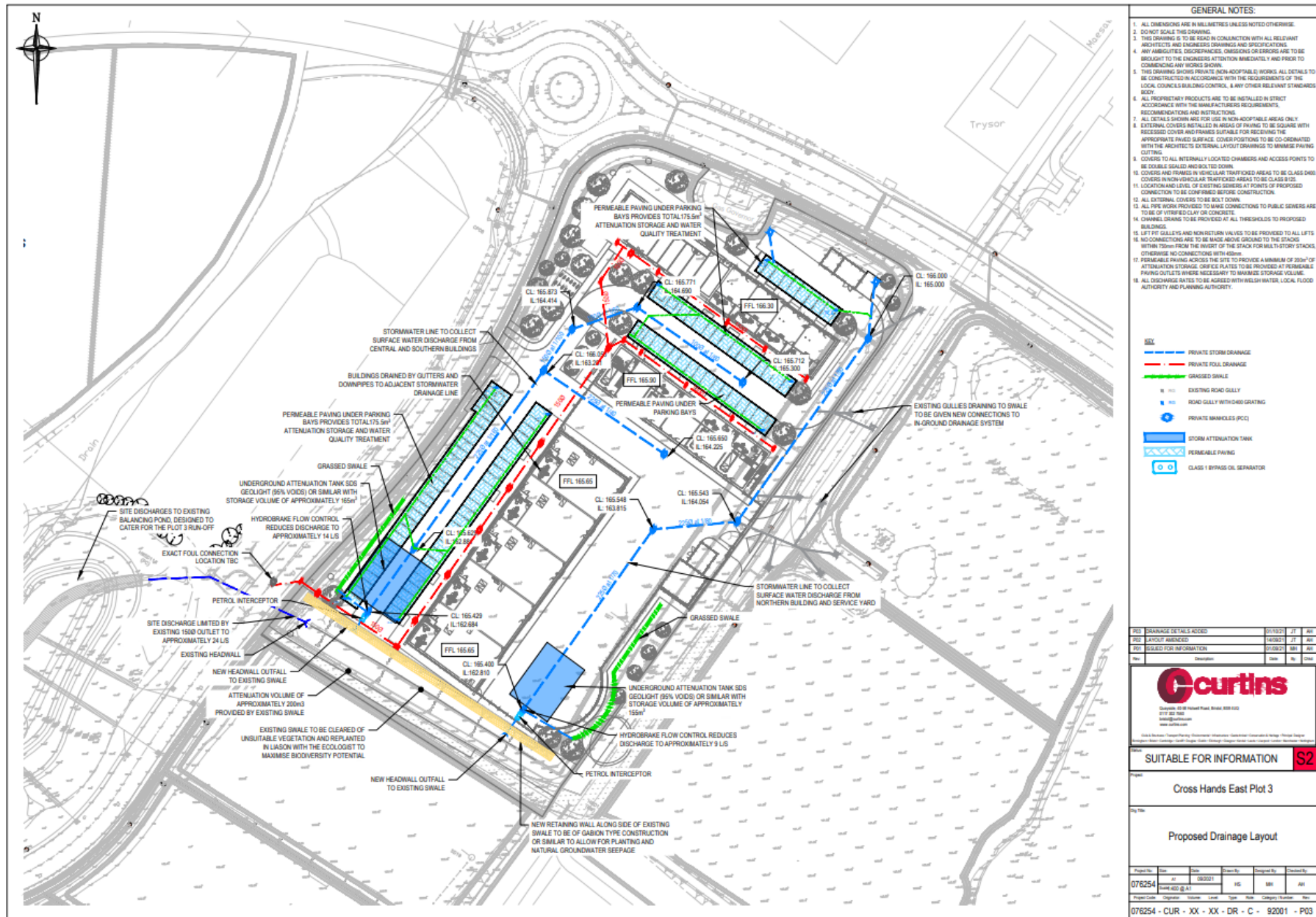
REV	SCALE FOR RESERVED MATTERS	DATE	BY	SD
Rev	Description	Date	By	Check

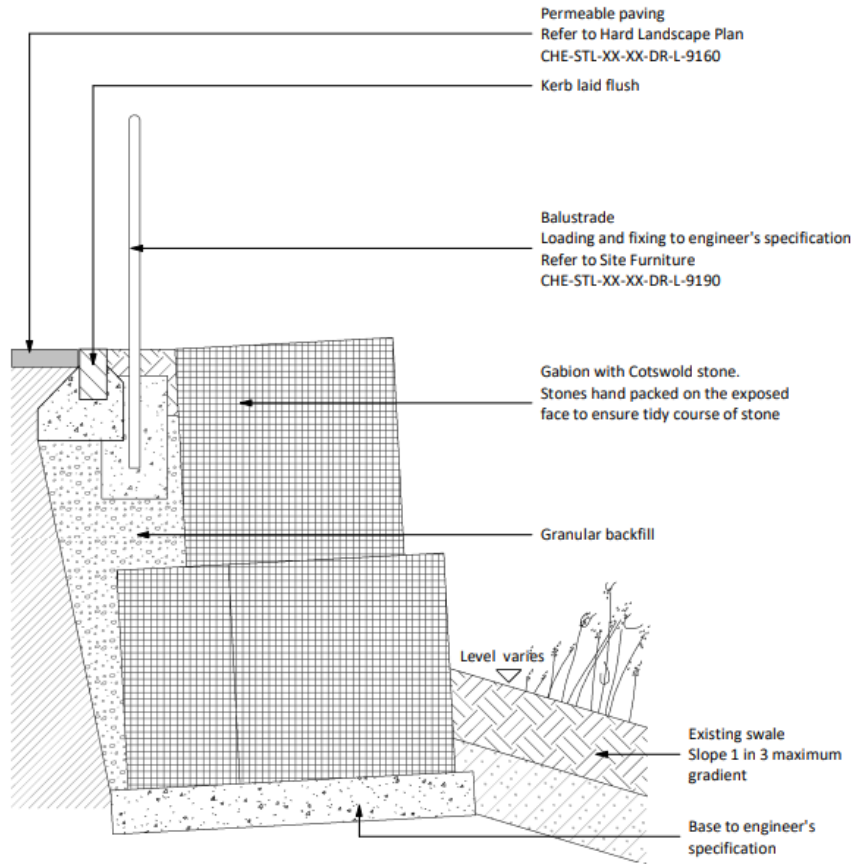
Curtins Consulting Ltd
43 Grosvenor Street, London, EC2V 0DP
T: 020 7381 2200 F: 020 7381 2201
E: team@curtins.com www.curtins.com

INFORMATION

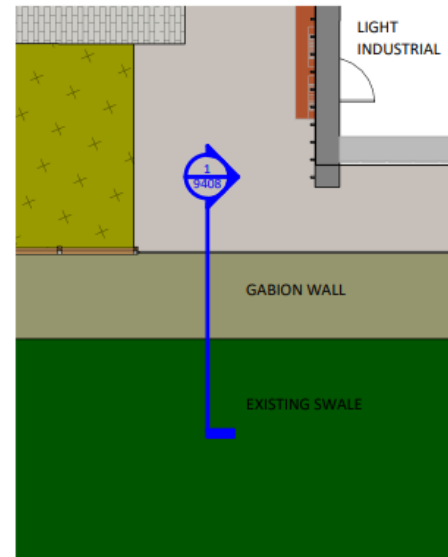
Project				
Crosshands Plot 3				
Day Title				
Proposed Western Access				
Scale	Sheet	Issue Date	Discipline	Checked
As shown	A3	02.09.21	MW	SD
Day No.				Rev
76347-CUR-00-XX-DR-TP-05003				P01





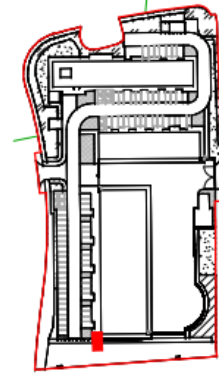


Typical Swale and Gabion Details
1 : 20



Plan view Swale and Gabion Location Plan
1 : 100

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.



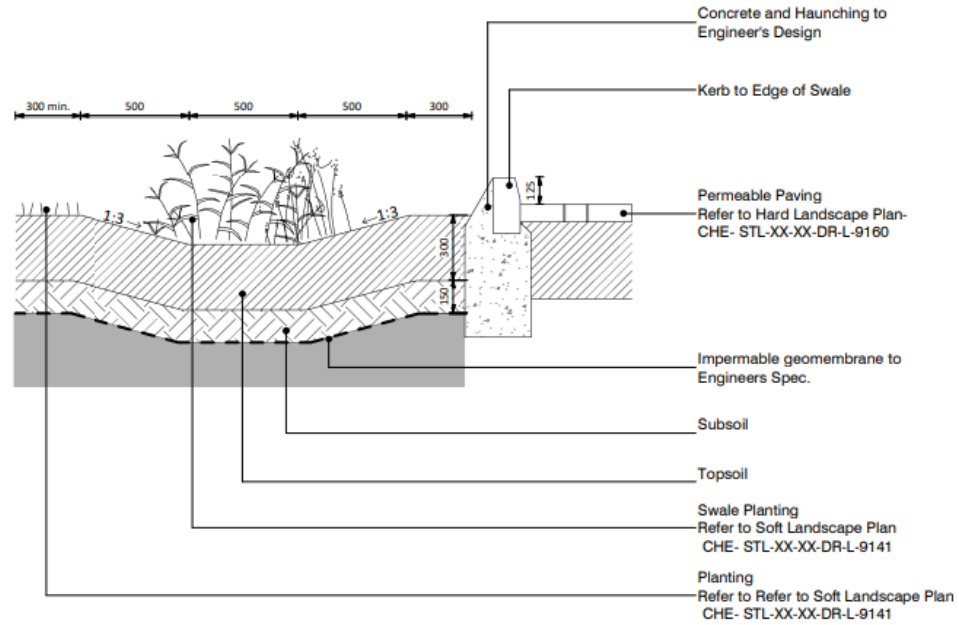
Location Plan
1 : 2000

PL	PL05	08/10/21	Planning Issue
S4	P41	27/09/21	Stage 3 Issue
PL	PL03	17/09/21	Planning Issue
STATUS	REV	DATE	DESCRIPTION
CLIENT	Carmarthenshire County Council		
REVISOR	AP		
CHECKED BY	LC		
ORIGINATOR NO	153962		

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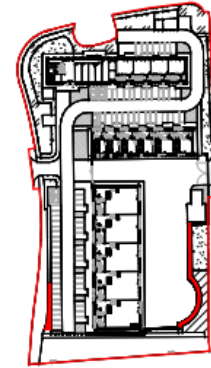
DRAWING TITLE
Swale and retaining structure

SUITABILITY STATUS	SCALE
PL : Planning	As indicated@A3
DRAWING USAGE	Planning
PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS - REVISION
CHE-STL-XX-XX-DR-L-9408	PL_PL05



Landscape Detail - Typical Carrier Swale
1 : 20

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All construction information should be taken from figured dimensions only.



Swale Location Plan
1 : 2000

PL	PL05	08/10/21	Planning Issue
SA	PA1	22/09/21	Stage 3 Issue
PL	PL03	17/09/21	Planning Issue
STATUS	REV	DATE	DESCRIPTION
CLIENT			REVISED BY
Carmarthenshire County Council			AP
			CHECKED BY
			US
			ORIGINATOR ID
			153962

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PROJECT
Cross Hands East Plot 3
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DRAWING TITLE
Bioretention SUDS Feature

SUITABILITY STATUS
PL : Planning As indicated@A3

DRAWING USAGE: Planning

PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER STATUS - REVISION
CHE-STL-XX-XX-DR-L-9409 PL_PL05

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0mm				50mm			
STATUS	REVISION	DATE	DESCRIPTION				
PL	PLO3	17.09.2021	PLANNING				
SA	P41	27.09.2021	STAGE 3 ISSUE				
PL	PLO5	08.10.2021	PLANNING				

PLANTING TREES



Alnus glutinosa



Carpinus betulus



Corylus colurna



Malus sylvestris



Salix caprea



Salix fragilis



Sorbus aucuparia



ORNAMENTAL



Corylus avellana 'Contorta'



Briza maxima



Ilex aquifolium



Calamagrostis brachytricha



Carpinus betulus



Calamagrostis x acutiflora 'Karl Foerster'



Lonicera periclymenum

SHRUBS



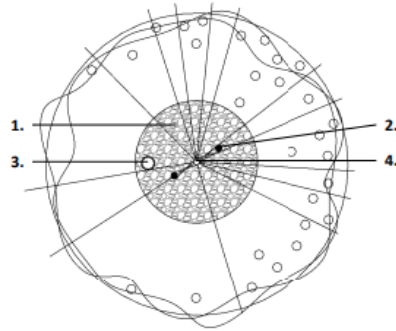
Carex testacea



Viburnum opulus



Crataegus monogyna



Tree Pit in Soft Plan View
1 : 50

Works by the Main Contractor Notes:

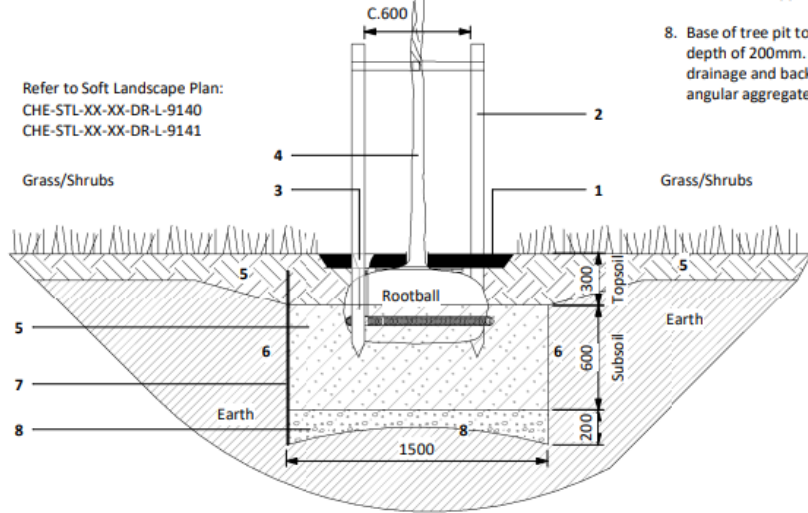
Tree Pit Excavations

Excavate pit to achieve desired width and depth of tree pit. Any stone, rubble, rubbish and other foreign debris that is exposed in the digging of the tree pits shall be removed from site.

Fork over the base and sides of tree pits to thoroughly loosen the soil and to relieve compaction to a minimum depth of 200mm. All smooth, glazed or compacted sides to tree pits shall be loosened by forking to encourage lateral rooting.

Subsoil layers around tree pits

The contractor is to ensure that subsoil layers are free-draining. Drainage is to be installed at the discretion of the Landscape Contractor in the event of potential ponding or waterlogging in the base of the pits. French drains, or similar approved, to be installed in consultation with the Engineers.



Tree Pit in Soft Section View
1 : 25

Notes:

1. Ø1000mm ring of 50mm deep 'Ornamental Grade Bark Mulch' or equivalent approved, to base of tree.
2. 2 no. Ø75mm x 1800mm length, tanalised and pressure treated timber tree stakes. Stakes driven into ground until firm to finish 1200mm above ground. Tie to tree with 2 no. rubber tree ties & spacers.
3. Tree irrigation and aeration system.
4. Standard tree - species, size and stem in accordance with the planting schedule. Centre of tree pit to be marked with timber stake (min. 1500mm), prior to tree planting.
5. Min. 300mm topsoil and 600mm subsoil to BS3882. Sides of pit to be loosened as necessary. Care to be taken during excavation, i.e. avoidance of smearing by mechanical bucket operation.
6. Sides of tree pit to be loosened following excavation to maximise aeration and lateral root growth.
7. Tree Root Barrier adjacent when in close to proximity to services and utilities, if required. It is not to be wrapped around the rootball.
8. Base of tree pit to be loosened to a minimum depth of 200mm. Base to be domed to facilitate drainage and backfilled with Ø30-40mm clean, angular aggregate.

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PL	PL05	08/10/21	Planning Issue	
S4	PL1	27/06/21	Stage 2 Issue	
PL	PL03	17/06/21	Planning Issue	
STATUS	REV	DATE	DESCRIPTION	
CLIENT	Carmarthenshire County Council			REVISED BY AP
				CHECKED BY US
				ORIGINATOR NO 153962

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PROJECT
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Cross Hands, Llanelli, SA14 6RY

DRAWING TITLE
Typical Tree Pit Detail in Soft

SUITABILITY STATUS	SCALE
PL : Planning	As indicated@A3
DRAWING USAGE: Planning	
PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS, REVISION
CHE-STL-XX-XX-DR-L-9405	PL_PL05

































**Ceisiadau yr argymhellir
eu bod yn cael eu
gwrthod**

**Applications
recommended for
refusal**

S/35028

Eilian Jones

Y Gwasanaethau Cynllunio - Planning Services
Adran Yr Amgylchedd - Environment Department

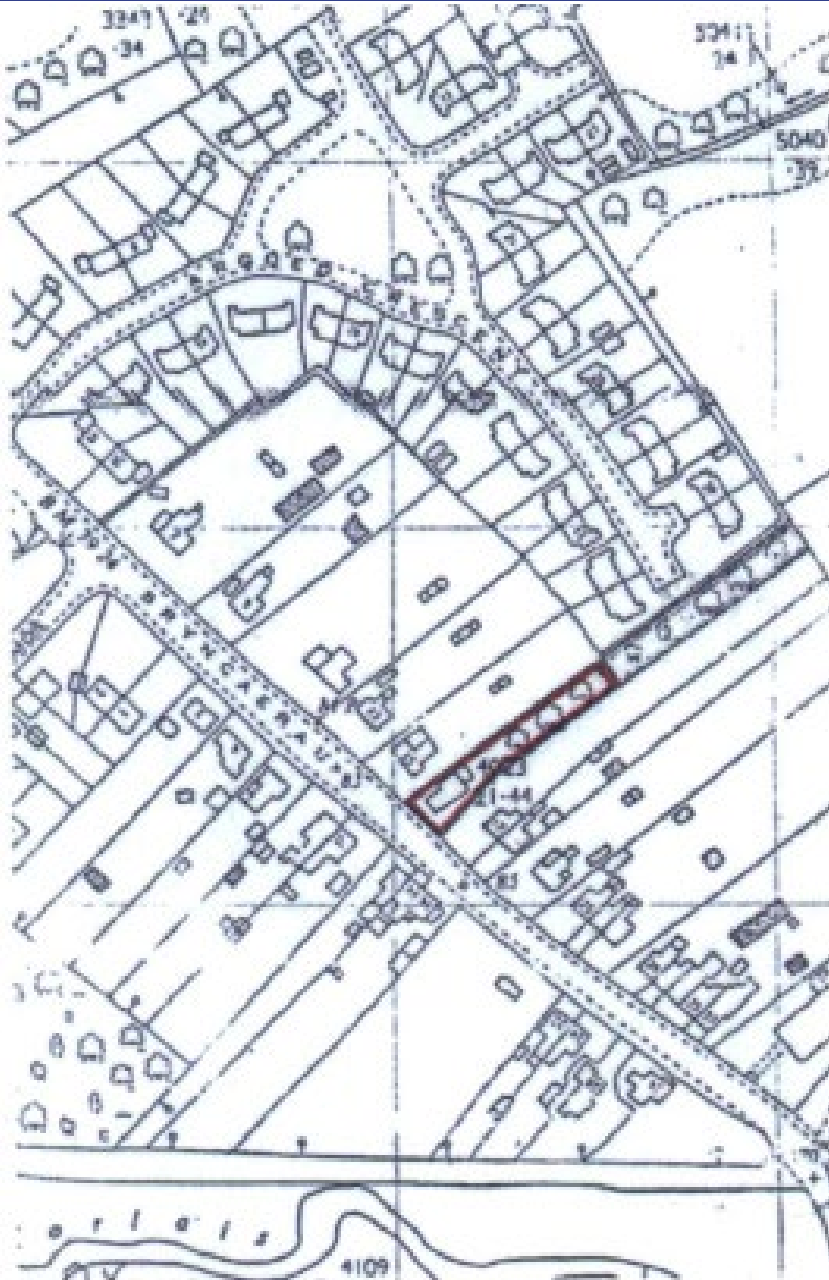
Page 140

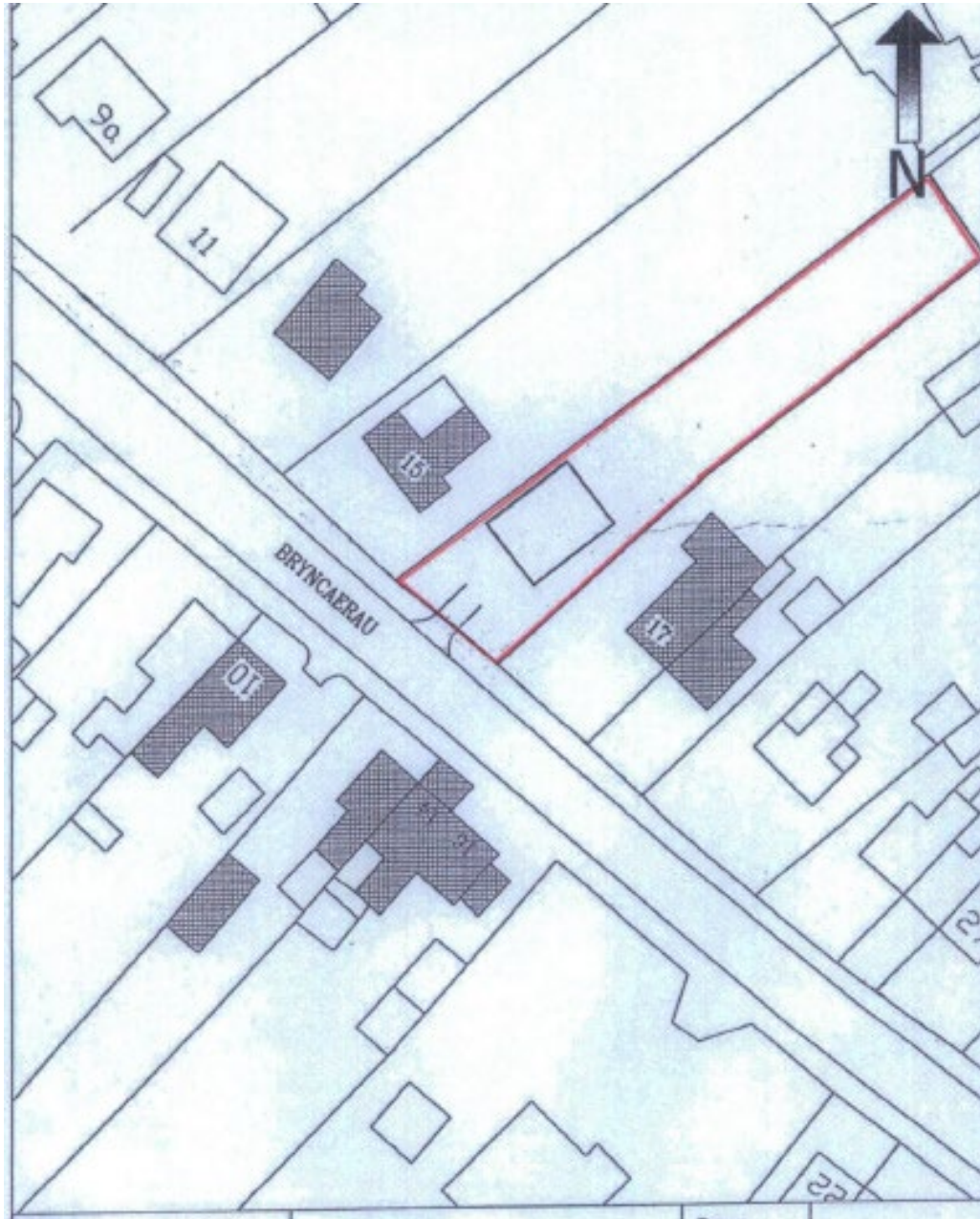
Cyngor **Sir Gâr**
Carmarthenshire
County Council

























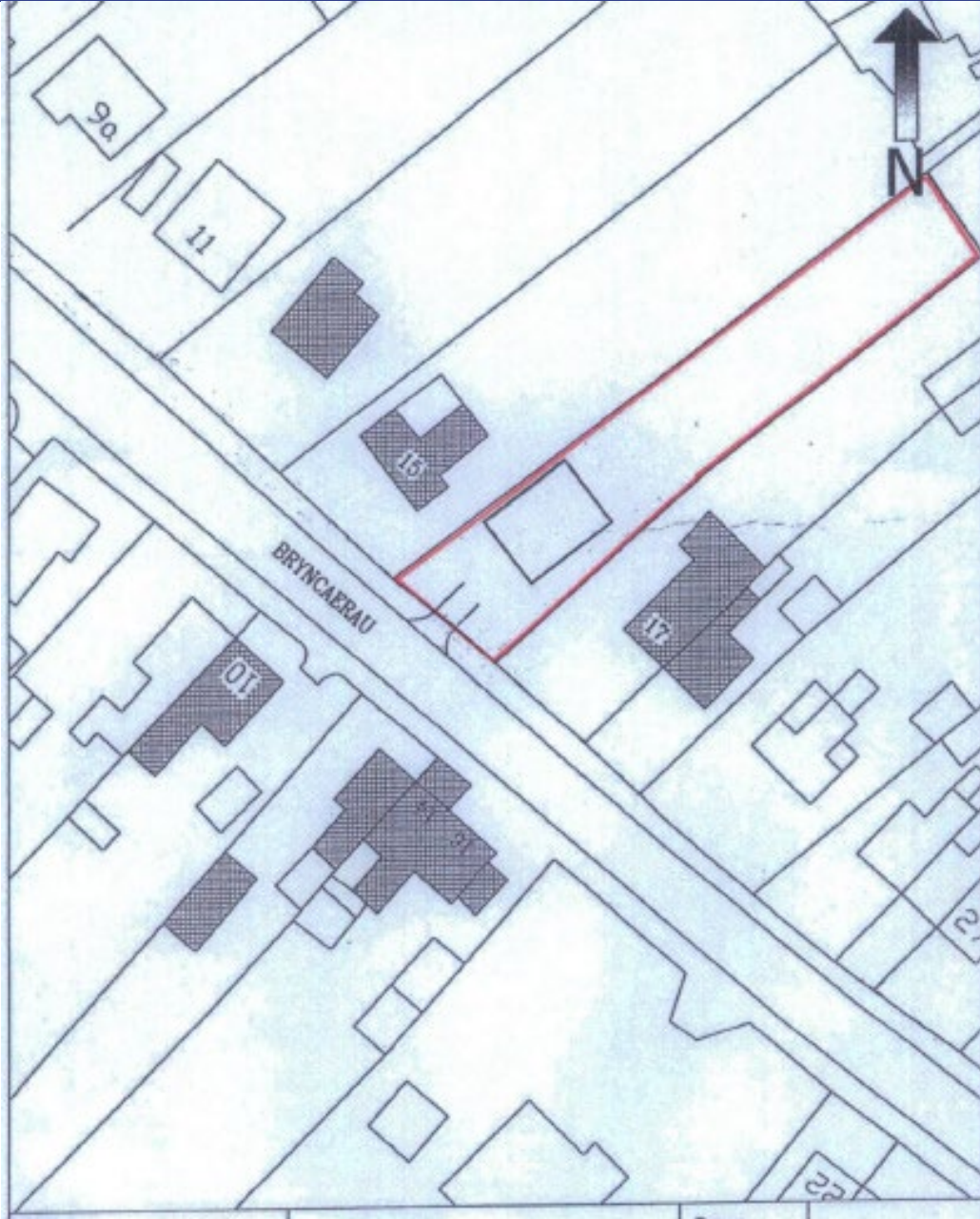




Bryncaerau Plot Map

-  1m Hedgerow running the length of plot comprised of species of local provenance. Hedgerow maintains connectivity through plot to woodland corridor beyond.
-  Plot Boundary





PL/02285

Paul Roberts

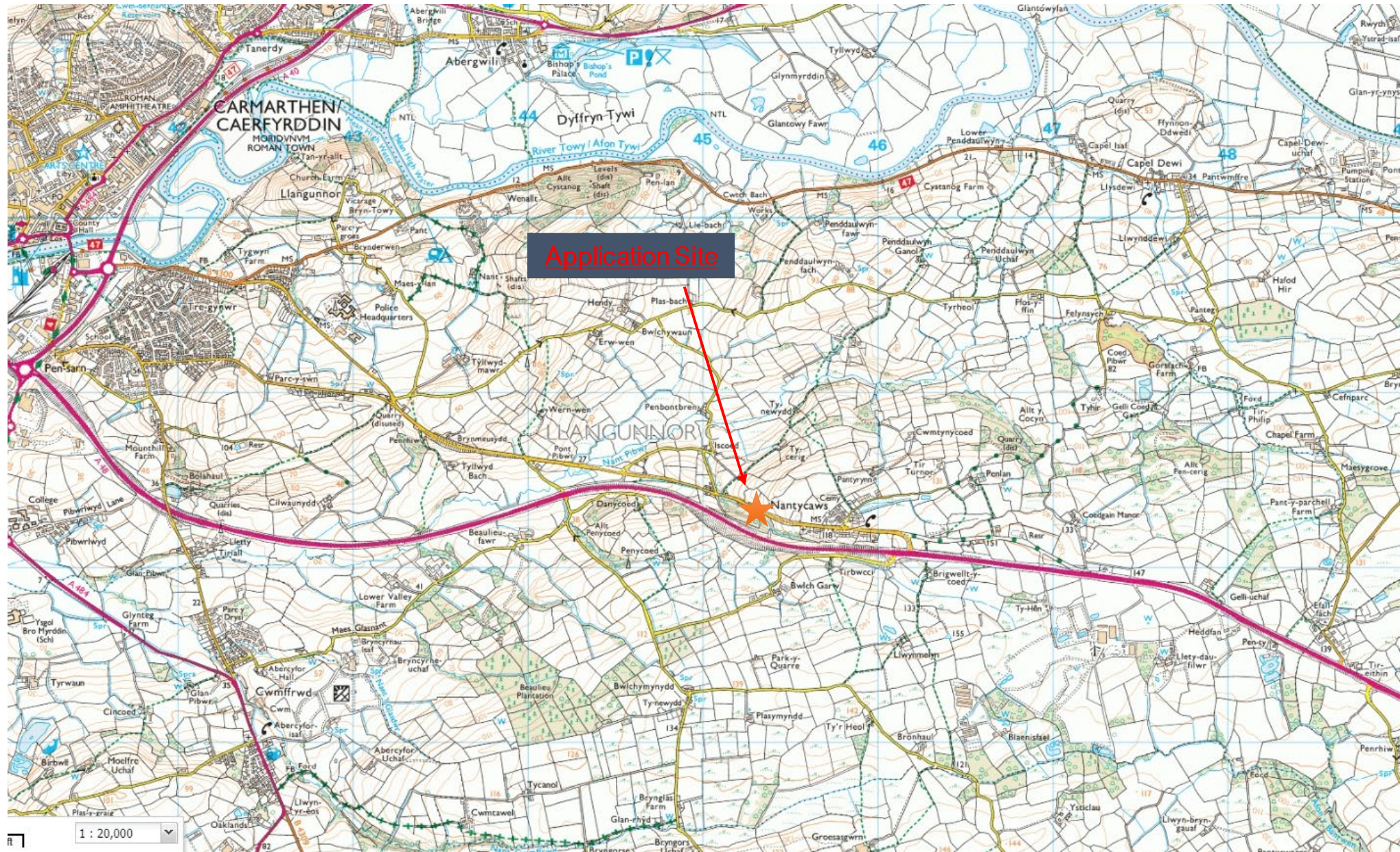
Y Gwasanaethau Cynllunio - Planning Services
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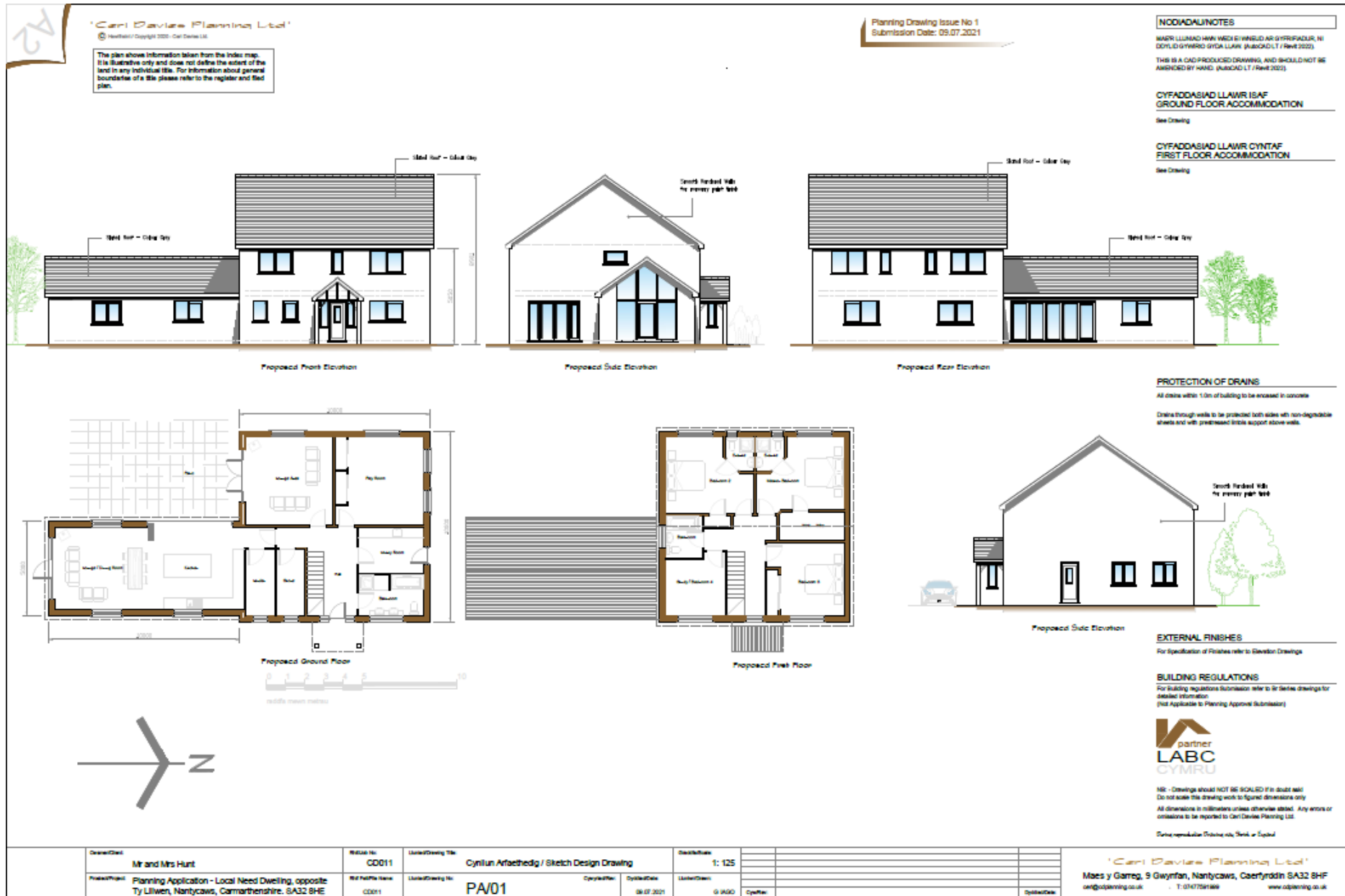
PL/02285 Location Plan



PL/02285 Aerial Photograph



PL/02285 Elevations and floor plans



Client/Drawn: Mr and Mrs Hunt	W/Job No: CDD11	Used/Drawn Title: Cynllun Arddeddi / Sketch Design Drawing	Scale: 1: 125				
Project/Title: Planning Application - Local Need Dwelling, opposite Ty Liliwen, Nantycaws, Carmarthenshire. SA32 8HE	Ref/Title Name: CDD11	Used/Drawn No: PA/01	Created/Date: 06.07.2021	Used/Drawn: G JAGO	Cyflwyn: []	System/Date: []	

'Carl Davies Planning Ltd'
 Maes y Garreg, 9 Gwyrfan, Nantycaws, Coerfyrddin SA32 8HF
 carl@cdplanning.co.uk T: 01477519166 www.cdplanning.co.uk























PL/02533

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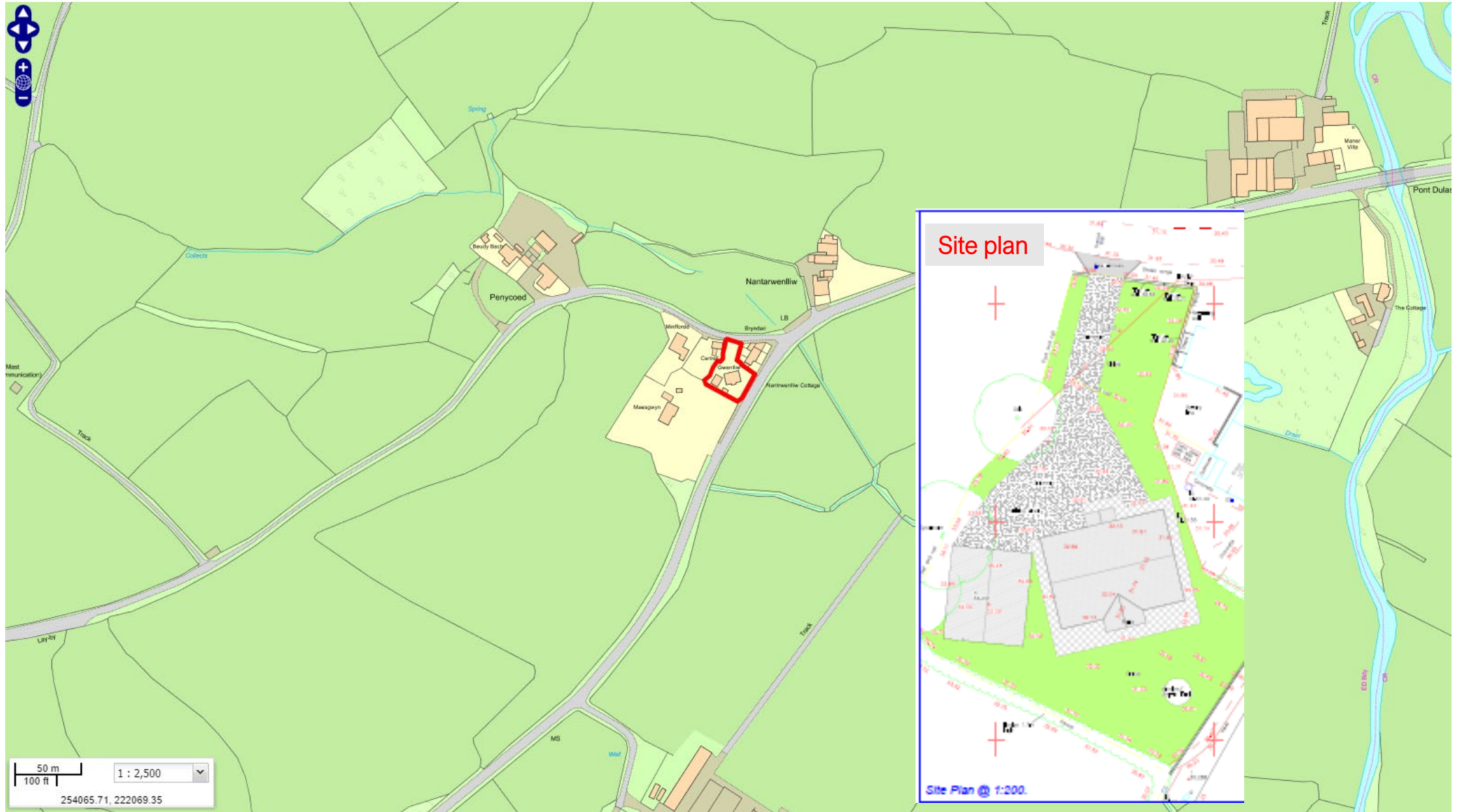
Cyngor **Sir Gâr**
Carmarthenshire
County Council



PL/02533 Location Plan



PL/02533 Location/Site plan



PL/02533 Aerial Photograph



PL/02533 Elevations and floor plans (Excluding converted attic)





Diolch | Thank you

sirgar.llyw.cymru

carmarthenshire.gov.wales

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